

Attachment 1: 4-6 Stockdale Avenue, Clayton

19350  
4-6 STOCKDALE AVE, CLAYTON  
STUDENT ACCOMMODATION

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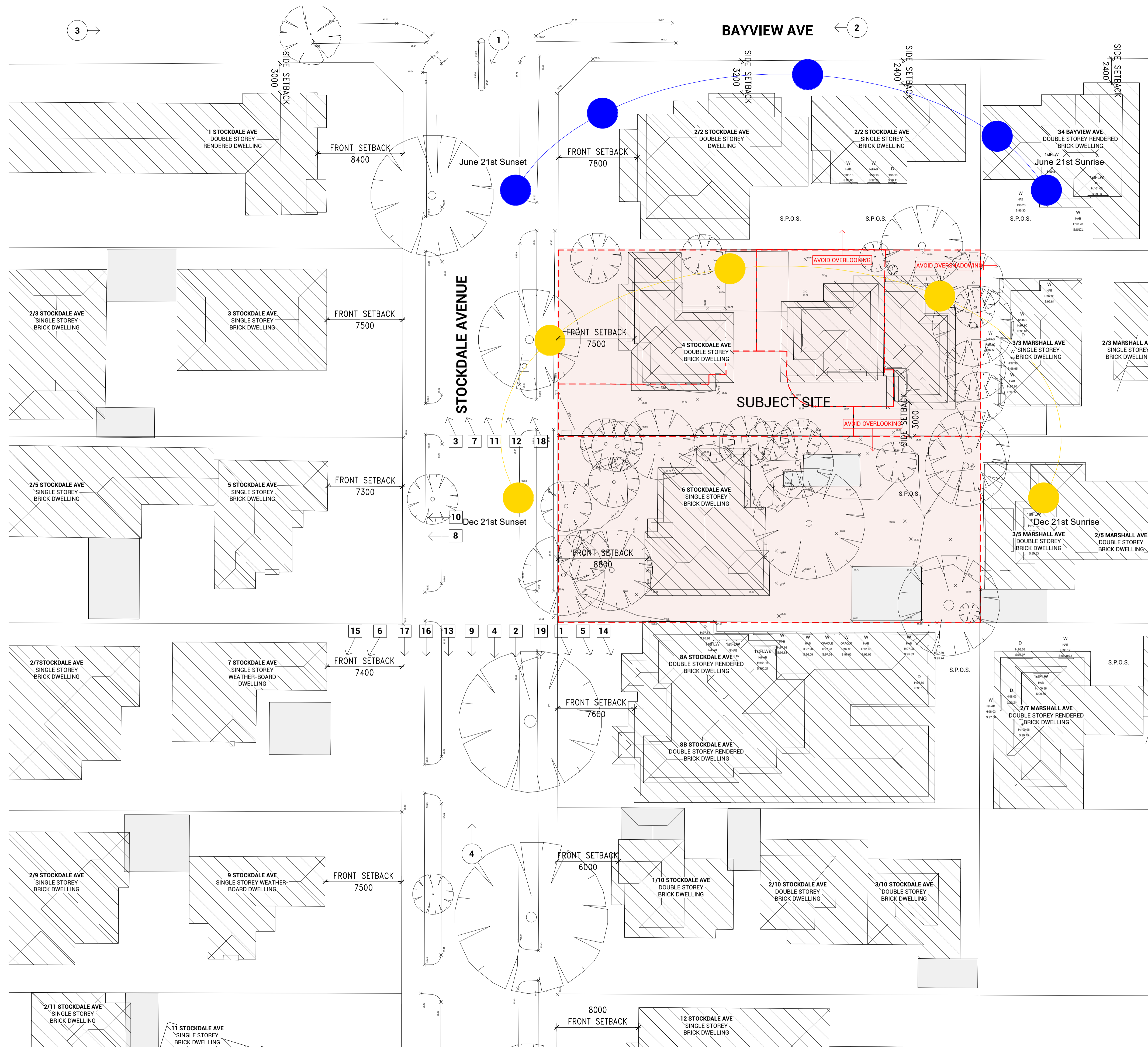
# PROPOSED STUDENT ACCOMMODATION DEVELOPMENT AT 4-6 STOCKDALE AVENUE, CLAYTON

TP_DRAWING LIST			
SHEET NUMBER	SHEET TITLE	CURRENT REVISION	DATE
TP000	DRAWING LIST	C	20/06/25
TP001	NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE	-	20/03/23
TP003	DEVELOPMENT SUMMARY	C	20/06/25
TP005	LAND SURVEY	-	20/03/23
TP006	LAND SURVEY	-	20/03/23
TP099	BASEMENT PLAN	E	20/06/25
TP100	GROUND FLOOR PLAN	C	20/06/25
TP101	FIRST FLOOR PLAN	C	20/06/25
TP102	SECOND FLOOR PLAN	C	20/06/25
TP150	SHADOW STUDY	C	20/06/25
TP151	SHADOW STUDY	C	20/06/25
TP152	SHADOW STUDY	C	20/06/25
TP153	SHADOW STUDY	C	20/06/25
TP154	SHADOW STUDY	B	20/06/25
TP155	SHADOW STUDY	B	20/06/25
TP156	SHADOW STUDY	B	20/06/25
TP160	GARDEN AREA PLAN	C	20/06/25
TP161	AREA PLAN	C	20/06/25
TP200	STREET FRONT INTERFACE	C	20/06/25
TP201	GENERAL ARRANGEMENT ELEVATION - EAST & WEST ELEVATIONS	C	20/06/25
TP202	GENERAL ARRANGEMENT ELEVATION - NORTH & SOUTH ELEVATIONS	C	20/06/25
TP203	INTERNAL COURTYARD ELEVATIONS	C	20/06/25
TP300	GENERAL ARRANGEMENT SECTION - SECTION AA & SECTION BB	C	20/06/25
TP301	GENERAL ARRANGEMENT SECTION - SECTION CC	C	20/06/25
TP302	OVERLOOKING DETAIL SECTION	C	20/06/25
TP303	OVERLOOKING DETAIL SECTION	C	20/06/25
TP990	EXTERNAL MATERIALS	B	20/06/25
TP998	PERSPECTIVES	-	20/06/25
TP999	PERSPECTIVES	A	20/06/25

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Revision			
No.	Date	Notes	Issued By
-	20/03/23	ISSUED FOR TP	OC
A	20/06/23	For Information	OC
B	20/06/22	For Information	OC
C	20/06/25	ISSUED FOR TP RFI	OC





THIS SITE IS LOCATED WITHIN CLOSE PROXIMITY TO THE FOLLOWING COMMUNITY ASSETS.

- EDUCATION:**
1. MONASH UNIVERSITY, 0.3KM SOUTH-EAST
  2. ST PETER'S SCHOOL, 2.3KM SOUTH
  3. SEDA COLLEGE, 12.8KM NORTH-WEST
  4. CLAYTON NORTH PRIMARY SCHOOL, 0.9KM SOUTH
  5. JOHN MONASH SCIENCE SCHOOL, 1.2KM SOUTH-EAST
  6. PRINCES HIGHWAY RESERVE, 1.6KM SOUTH-WEST
- PARKS/GARDENS/RESERVES:**
7. CARLSON RESERVE, 0.5KM NORTH-WEST
  8. STRELDEN AVENUE RESERVE, 0.9KM WEST
  9. FREGON RESERVE, 1.5KM SOUTH
  10. BAYTON COURT RESERVE, 1.2KM WEST
  11. REG HARRIS RESERVE, 2.1KM NORTH-WEST
- RETAIL/COMMERCIAL PRECINCT:**
12. CHADSTONE SHOPPING MALL, 5.0KM NORTH-WEST
  13. COLES SUPERMARKET, 2.6KM SOUTH
  14. MU CONVENIENCE STORE, 1.2KM SOUTH-EAST
- TRANSPORT:**
15. HUNTINGDALE STATION, 2.8KM SOUTH-WEST
  16. NORTH RD BUS STOP, 0.8KM SOUTH
  17. PRINCES HWY BUS STOP, 0.9KM SOUTH
  18. HILLTOP AVE BUS STOP, 0.3KM NORTH
  19. BAYVIEW AVE BUS STOP, 0.3KM SOUTH

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**LEGEND**

- SUBJECT SITE
- EXISTING STRUCTURE
- EXISTING GARAGE/SHED
- EXISTING TREE
- COMMUNITY ASSETS NUMBER AND DIRECTION
- PHOTOGRAPH NUMBER AND DIRECTION

**TOWN PLANNING**

**PWA**  
Architecture | Interior Design  
Parallel Workshop Pty Ltd  
ACN 611 137 458

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A: 10 Elizabeth Street, Richmond VIC 3121  
E: info@parallelworkshop.com.au  
T: +61 03 90202100

Project: **STUDENT ACCOMMODATION**  
**4-6 STOCKDALE AVE, CLAYTON**

Client: **WCL Developments**

**Revision**

No.	Date	Notes	Issued By
1	20/03/23	ISSUED FOR TP	CC

Title: **NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE**

Sheet Status: **TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No.: **TP001**

Scale: **As indicated** at A1

Date: **20/03/23**

Revision: **-**

Project No.: **19350**



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**DEVELOPMENT SUMMARY**

PROJECT NAME: 4-6 STOCKDALE AVE, CLAYTON

PROJECT NO.: 19350

REVISION B

DATE: 2020.06.22

<b>TOTAL SITE AREA</b>	<b>1510.7 m2</b>	<b>TOTAL GARDEN AREA</b>	<b>569.6</b>	<b>37.70%</b>
<b>TOTAL SITE COVERAGE</b>	<b>864.8</b>		<b>57.24%</b>	
<b>TOTAL PERMEABILITY</b>	<b>427.8</b>		<b>28.32%</b>	

Note: Permeable areas as stipulated in Planning Schemes from Department of Environment, Land, Water and Planning in Victoria. This area includes driveways, footpaths and outdoor entertaining areas, provided materials use for their construction are pervious.

**SCH-001 DEVELOPMENT SUMMARY**

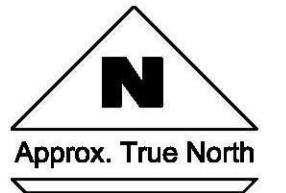
LEVELS	NO. OF FLOORS	NO. OF ACCOM. PER FLOOR	GFA(m <sup>2</sup> )		NLA(m <sup>2</sup> )		LOUNGE & COMMON AREA & BOH (m <sup>2</sup> )	OUTDOOR COMMON AREA (m <sup>2</sup> )	PRIVATE COURTYARD (m <sup>2</sup> )	CAR PARK/ ACCESS WAY (m <sup>2</sup> )	BICYCLES	CAR SPACES	ACCESSIBILITY		
			TOTAL GFA	ACCOM. NLA	SELF CONTAINED 24 SQM	ACCESSIBLE-SELF CONTAINED ABOVE 30 SQM									
<b>BUILDING</b>	<b>TOWER</b>														
B1	1	0	691.87				691.87				33	19			
GF	1	25	858	642			218	335	234	77	-	-	24		1
L01	1	25	830	623			204	-	-	-	-	-	24		1
L02	1	15	551	375			180	-	-	-	-	-	15		-
<b>TOTALS</b>	<b>4</b>	<b>65</b>	<b>2,931</b>	<b>1,640</b>			<b>1,294</b>	<b>335</b>	<b>234</b>	<b>77</b>	<b>33</b>	<b>19</b>	<b>63</b>		<b>2</b>
													<b>97%</b>	<b>3%</b>	



# Feature & Level Survey

4 Stockdale Avenue, Clayton

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Approx. True North

Add 7'00" for Title

- Legend**
- X 104 Existing Surface
  - + 107 Floor Level
  - + 108 Roof Level
  - 201 Single Tree > 2m
  - 203 Group of Trees / Shrubs
  - 308 Side Entry Drainage Pit
  - 309 Grated Drainage Pit
  - 310 Junction Drainage Pit
  - 322 Kerb Outlet
  - 407 Invert of Kerb/Channel
  - 408 Back of Kerb/Channel
  - 410 Pedestrian Path
  - X 411 Driveway
  - X 419 Edge of Concrete
  - X 503 Signs
  - X 601 House
  - X 602 Minor Building
  - X 603 Major Building
  - X 604 Verandah/Deck
  - 605 Window
  - 606 Door
  - X 609 Retaining Wall
  - X 617 Wall
  - X 628 Steps
  - X 632 Eave
  - X 634 Ridge Line
  - X 635 Spouting/Gutter
  - X 712 Electricity Pole only
  - X 713 Electricity Pole with Light
  - 716 Electricity Pit
  - X 717 Overhead Electricity Line
  - X 719 Electricity Cabinet / Box
  - X 721 Telecommunications Pit
  - 738 Gas Meter
  - 754 Water Meter
  - X 903 Fence
  - X 904 Gate

**Notations**  
Date of Survey 19th September 2019

For Title Re-establishment Survey showing relationship between fences and Title Boundaries refer to survey drawing No. 19459R

Land Subject to Easements  
E-1 Drainage and Sewerage 1.83m wide vide LP22201

Direction of Photographs shown thus Refer to drawing 19459PH for photos

Levels shown thus are to Australian Height Datum vide PM MMB1946A with a stated value of RL 90.470

Tree heights shown thus HT:3m are approximate only  
Contour Interval 0.2 metres

Property Information shown thus is not based on Survey and has been obtained from the Digital Cadastral Map Base.

Location of buildings beyond site fences and shown as dashed lines are indicative only

\* Windows noted HAB N/HAB UNCL (unclassified) have been determined by external visual appearance at the time of survey. Land Dimensions Pty Ltd can accept no responsibility for any person or corporation who may rely on this for any purpose. All window types should be verified on site by a designer or planning consultant.

Services shown hereon have been located by field survey. Other hidden underground services may exist and prior to any demolition, excavation or construction on the site, the relevant authority or 'Dial before you Dig' should be contacted for possible location of further underground services.

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Date	Version	Amendment

Job Reference No. 19459  
Scale 1:100 Lengths are in metres

Drawn	Checked	Date
AW	JB	26/9/2019

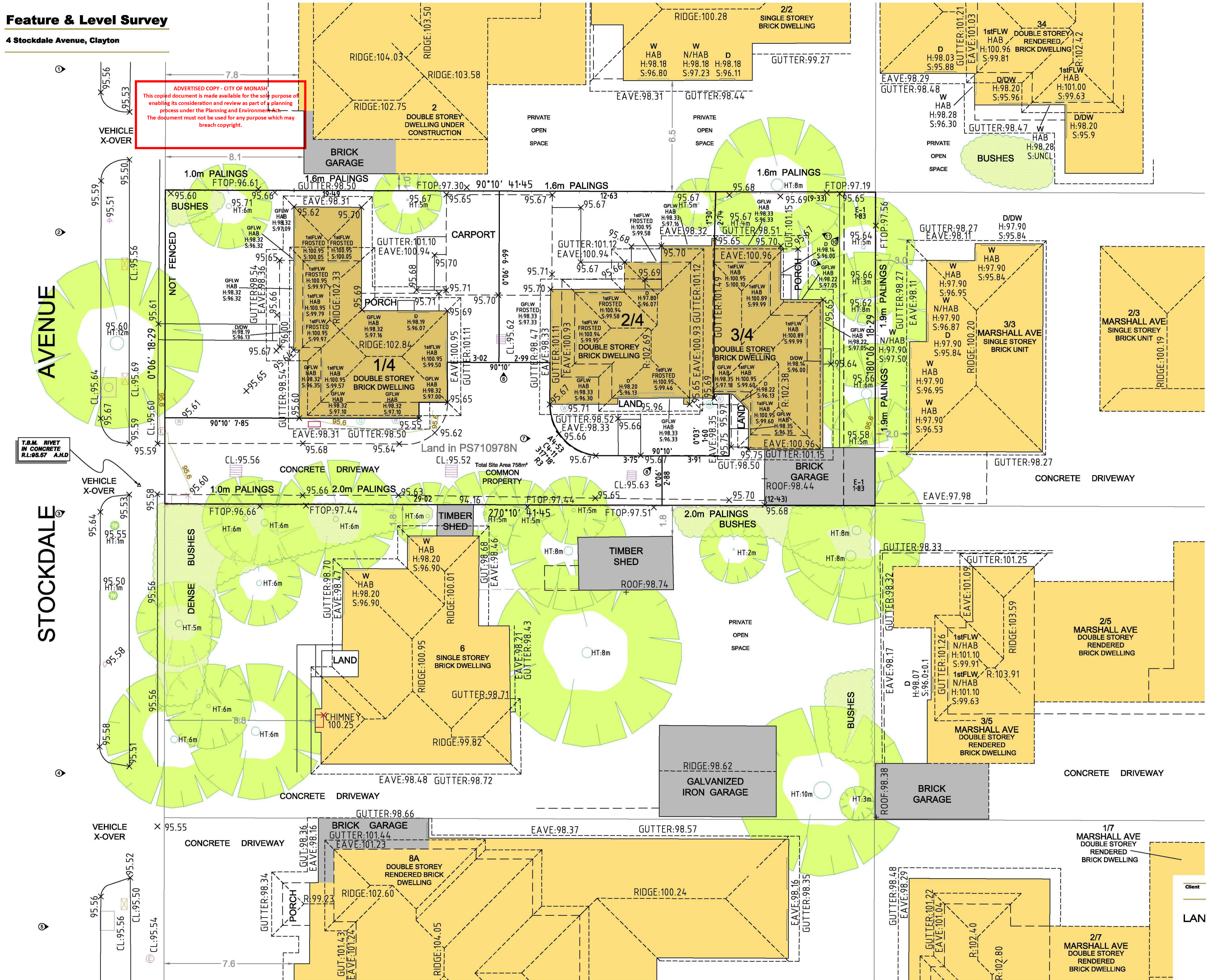
Drawing number	Version
19459FL	-

Original sheet size	Sheet
A1	1 of 1

Client WCL Development Pty Ltd

**LAND DIMENSIONS**

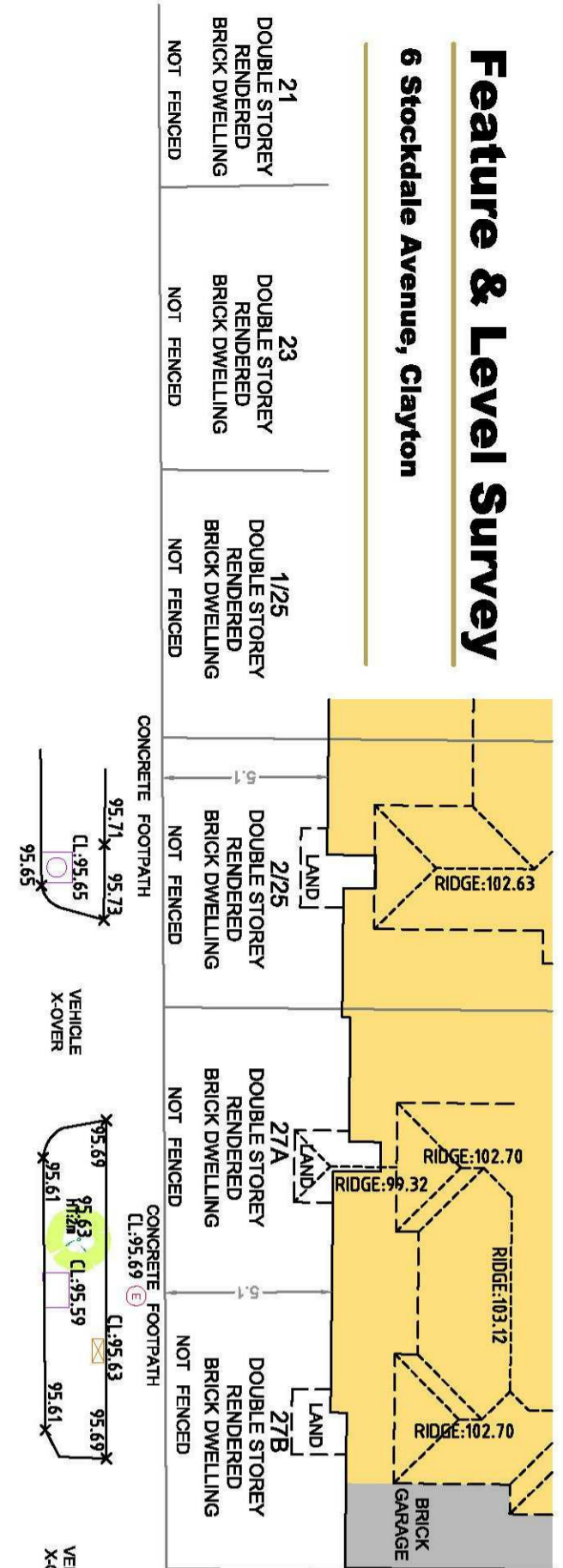
A.C.N. 129 548 054  
PO Box 1244  
Waverley Gardens Vic 3170  
Level 1 Suite 2, 327 Police Road  
Mulgrave Vic 3170  
T (03) 9790 0399  
W landdimensions.net.au



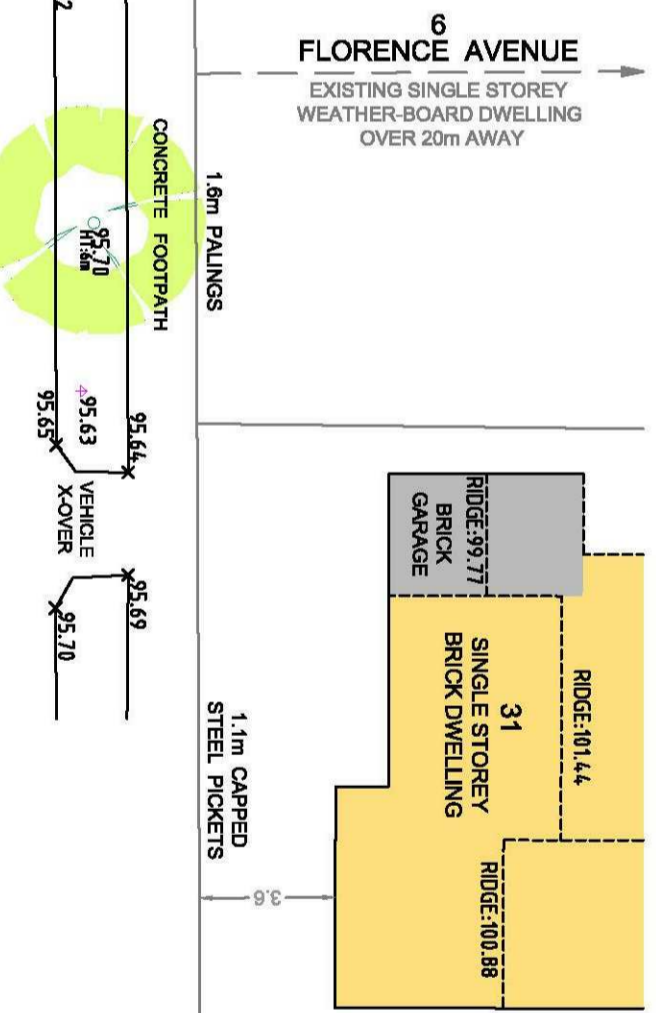
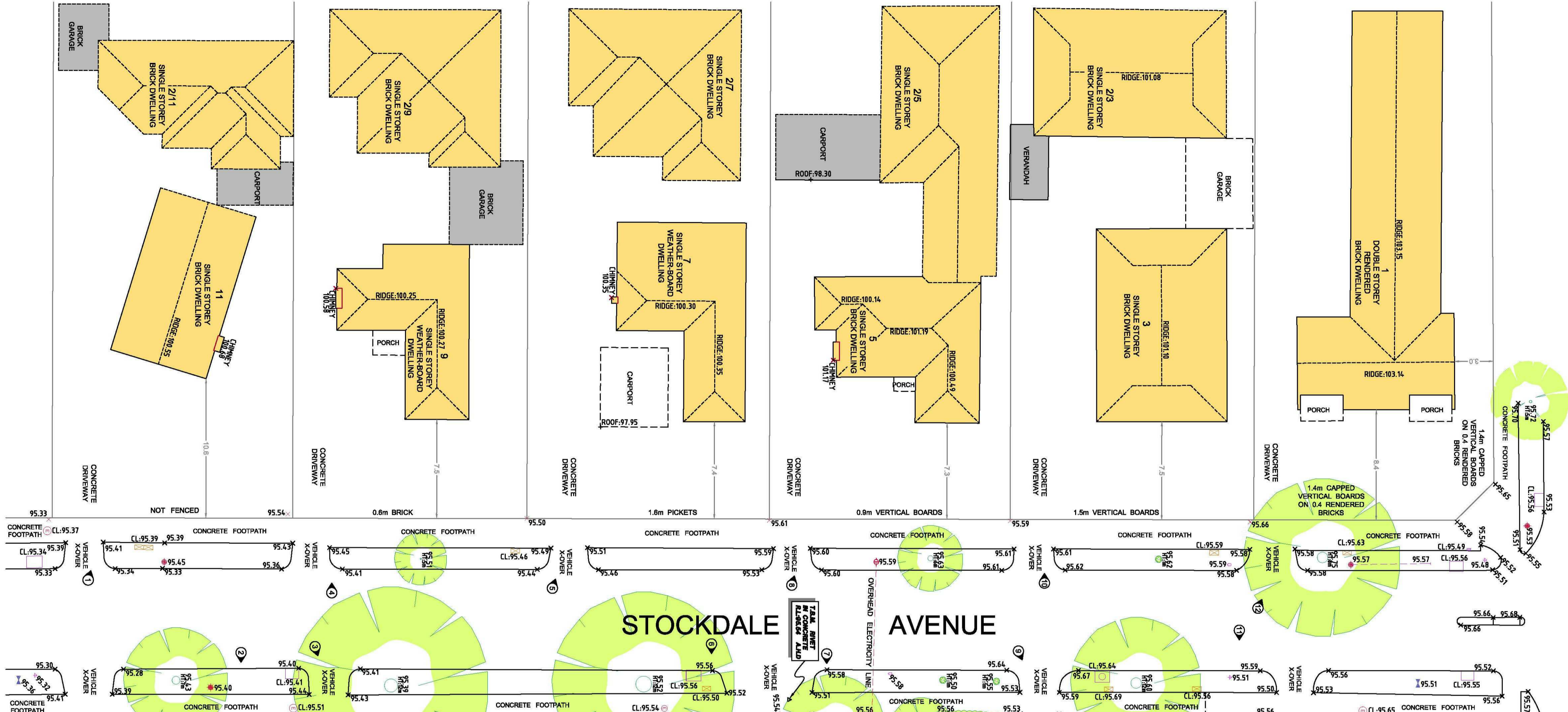


# Feature & Level Survey

6 Stockdale Avenue, Clayton



## BAYVIEW AVENUE



33-35  
SINGLE STOREY  
BRICK UNITS

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- Legend**
- X 104. Existing Surface
  - + 107. Floor Level
  - 108. Roof Level
  - 201. Single Tree > 2m
  - 203. Group of Trees / Shrubs
  - 308. Side Entry Drainage Pit
  - 309. Grated Drainage Pit
  - 310. Junction Drainage Pit
  - 407. Invert of Kerb/Channel
  - 408. Back of Kerb/Channel
  - X 410. Pedestrian Path
  - X 411. Driveway
  - X 503. Signs
  - X 601. House
  - X 602. Minor Building
  - X 603. Major Building
  - X 604. Verandah/Deck
  - X 605. Window
  - X 606. Door
  - X 617. Wall
  - X 618. Chimney
  - X 628. Steps
  - X 632. Eave
  - X 634. Ridge Line
  - X 635. Spouting/Gutter
  - X 712. Electricity Pole only
  - X 713. Electricity Pole with Light
  - X 716. Electricity Pit
  - X 721. Telecommunications Pit
  - X 738. Gas Meter
  - X 753. Fire Hydrant
  - X 754. Water Meter
  - X 781. Stay for Pole
  - X 904. Fence

**Notations**

Date of Survey 19 September 2019

For Title Re-establishment Survey showing relationship between fences and Title Boundaries refer to survey drawing No. 19480R

Land Subject to Easements E-1 Drainage and Sewerage 1.83m wide v/w LP22201

Direction of Photographs shown this way

Levels shown thus are to Australian Height Datum

Tree heights shown thus in 1.5m are approximate only

Contour Interval 0.2 metres

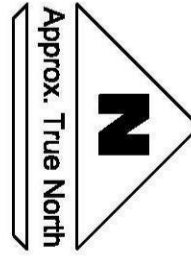
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Property information shown thus is not based on Survey and has been obtained from the Digital Cadastral Map Base.

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Approx. True North

Job Reference No. 19480

Scale 1:200 Lengths are in metres

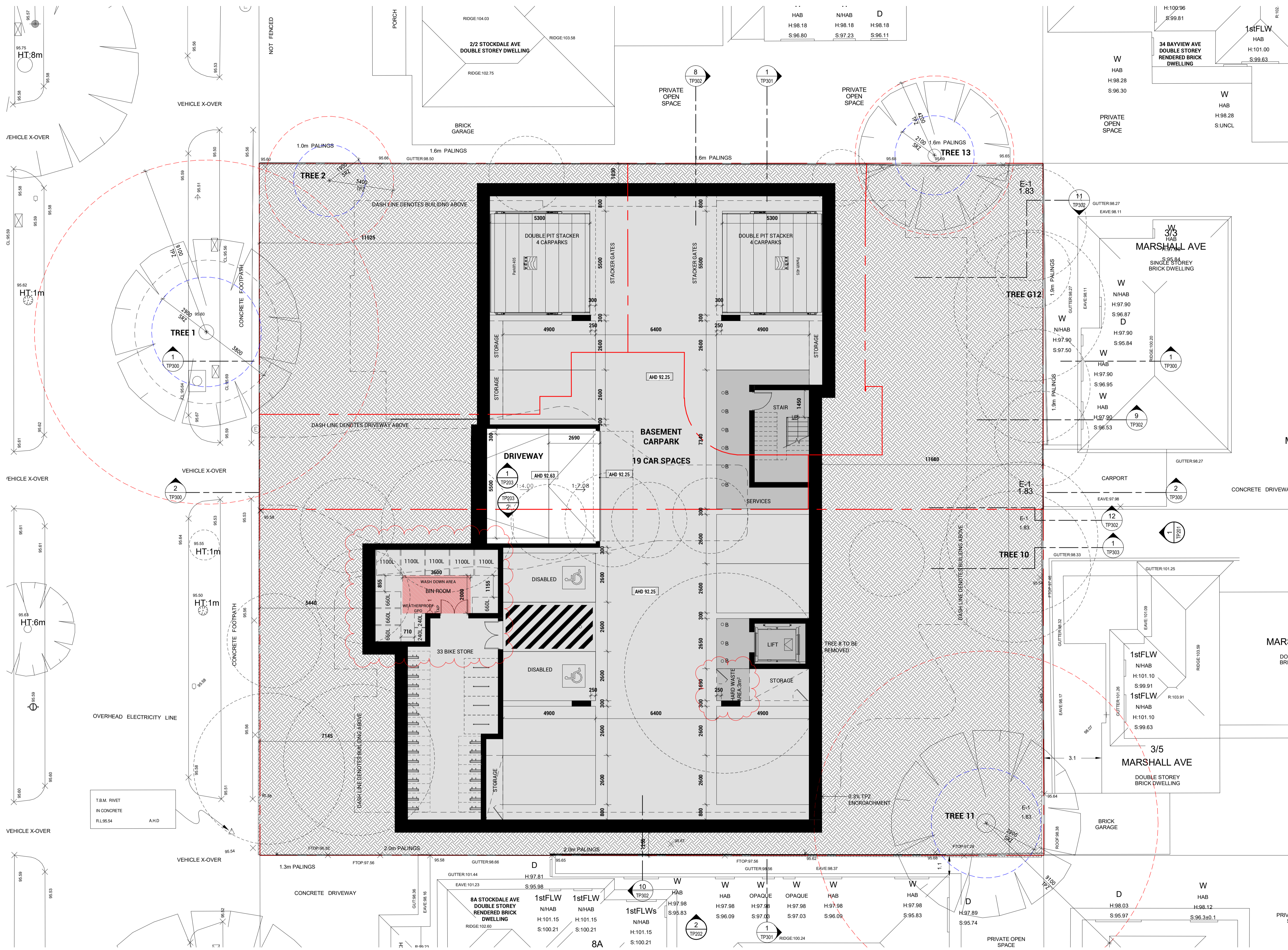
Drawn	Checked	Date
AW	JB	30/9/2019
Drawing number	19480FL	Version
Original sheet size	A1	Sheet
		1 of 1

Client WCL Development Pty Ltd

**LAND DIMENSIONS**

A.C.N. 129 548 054  
 PO Box 1244  
 Waverley Gardens VIC 3170  
 Level 1 Suite 2, 327 Police Road  
 Mulgrave VIC 3170  
 T (03) 9790 0399  
 w landdimensions.net.au





- LEGEND:**
- UNIT TYPE A
  - UNIT TYPE A-a
  - UNIT TYPE A-b
  - UNIT TYPE B
  - UNIT TYPE B-a
  - UNIT TYPE C
  - UNIT TYPE D
  - UNIT TYPE E
  - UNIT TYPE F (ACCESSIBLE)
  - UNIT TYPE G
  - UNIT TYPE H
  - UNIT TYPE I (ACCESSIBLE)
  - UNIT TYPE J
  - UNIT TYPE K
  - UNIT TYPE L
  - UNIT TYPE M
  - UNIT TYPE N
  - UNIT TYPE O
  - COMMON AREA
- EXISTING TREE TO REMAIN
  - EXISTING TREES TO BE REMOVED
  - PROPOSED NEW CANOPY TREE
  - TREE PROTECTION ZONE  
REFER ARBORIST'S REPORT FOR DETAILS
  - STRUCTURAL ROOT ZONE  
REFER ARBORIST'S REPORT FOR DETAILS
  - H/L HIGHLIGHT WINDOW WITH MIN. 1.7m SILL
  - MB MAIL BOXES
  - OBS FIXED OBSCURED GLAZING TO MIN. 1.7m HIGH
  - RET. RETAINING WALL
  - RT RAINWATER TANK
  - 6m³ STORAGE
  - CLOTHESLINE
  - NOMINAL BIN LOCATION
  - ELECTRICAL METER
  - GAS METER
  - WATER METER
  - MAIN SWITCHBOARD

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Project **STUDENT ACCOMMODATION**  
**4-6 STOCKDALE AVE, CLAYTON**

Client **WCL Developments**

No.	Date	Notes	Issued By
A	20/03/23	ISSUED FOR TP	OC
B	20/06/23	For Information	OC
C	20/06/23	For Information	OC
D	20/06/23	For Information	OC
E	20/06/25	ISSUED FOR TP RFI	OC

Title **BASEMENT PLAN**

Sheet Status **TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No. **TP099**

Scale **1 : 100** at A1

Date **20/06/25**

**TOWN PLANNING**

Revision **E**

Project No. **19350**





- LEGEND:**
- UNIT TYPE A
  - UNIT TYPE A-a
  - UNIT TYPE A-b
  - UNIT TYPE B
  - UNIT TYPE B-a
  - UNIT TYPE C
  - UNIT TYPE D
  - UNIT TYPE E
  - UNIT TYPE F (ACCESSIBLE)
  - UNIT TYPE G
  - UNIT TYPE H
  - UNIT TYPE I (ACCESSIBLE)
  - UNIT TYPE J
  - UNIT TYPE K
  - UNIT TYPE L
  - UNIT TYPE M
  - UNIT TYPE N
  - UNIT TYPE O
  - COMMON AREA
- EXISTING TREE TO REMAIN
  - EXISTING TREES TO BE REMOVED
  - PROPOSED NEW CANOPY TREE
  - TREE PROTECTION ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
  - STRUCTURAL ROOT ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
  - H/L HIGHLIGHT WINDOW WITH MIN. 1.7m SILL
  - MB MAIL BOXES
  - OBS FIXED OBSCURED GLAZING TO MIN. 1.7m HIGH
  - RET. RETAINING WALL
  - RT RAINWATER TANK
  - 6m³ 6m³ STORAGE
  - CLOTHESLINE
  - NOMINAL BIN LOCATION
  - ELECTRICAL METER
  - GAS METER
  - WATER METER
  - MSB MAIN SWITCHBOARD

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Project **STUDENT ACCOMMODATION**  
**4-6 STOCKDALE AVE, CLAYTON**  
 Client **WCL Developments**

Revision		
No.	Date	Notes
A	20/06/25	ISSUED FOR TP
B	20/06/22	For Information
C	20/06/25	ISSUED FOR TP REF

Title **GROUND FLOOR PLAN**  
 Sheet Status **TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No. **TP100**  
 Scale **1 : 100** at A1  
 Date **20/06/25**

TOWN PLANNING

Revision **C**  
 Project No. **19350**





- LEGEND:**
- UNIT TYPE A
  - UNIT TYPE A-a
  - UNIT TYPE A-b
  - UNIT TYPE B
  - UNIT TYPE B-a
  - UNIT TYPE C
  - UNIT TYPE D
  - UNIT TYPE E
  - UNIT TYPE F (ACCESSIBLE)
  - UNIT TYPE G
  - UNIT TYPE H
  - UNIT TYPE I (ACCESSIBLE)
  - UNIT TYPE J
  - UNIT TYPE K
  - UNIT TYPE L
  - UNIT TYPE M
  - UNIT TYPE N
  - UNIT TYPE O
  - COMMON AREA
- EXISTING TREE TO REMAIN
  - EXISTING TREES TO BE REMOVED
  - PROPOSED NEW CANOPY TREE
  - TREE PROTECTION ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
  - STRUCTURAL ROOT ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
  - H/L HIGHLIGHT WINDOW WITH MIN. 1.7m SILL
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  - RET. RETAINING WALL
  - RT RAINWATER TANK
  - 6m³ 6m³ STORAGE
  - CLOTHESLINE
  - NOMINAL BIN LOCATION
  - ELECTRICAL METER
  - GAS METER
  - WATER METER
  - MSB MAIN SWITCHBOARD

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**Project**  
 STUDENT ACCOMMODATION  
 4-6 STOCKDALE AVE, CLAYTON

**Client**  
 WCL Developments

No.	Date	Notes	Issued By
A	20/06/25	ISSUED FOR TP	CC
B	20/06/25	For Information	CC
C	20/06/25	ISSUED FOR TP RFI	CC

**Title**  
 FIRST FLOOR PLAN

**Sheet Status**  
 TOWN PLANNING  
 NOT FOR CONSTRUCTION

**Sheet No.**  
 TP101

**Scale**  
 1 : 100 at A1

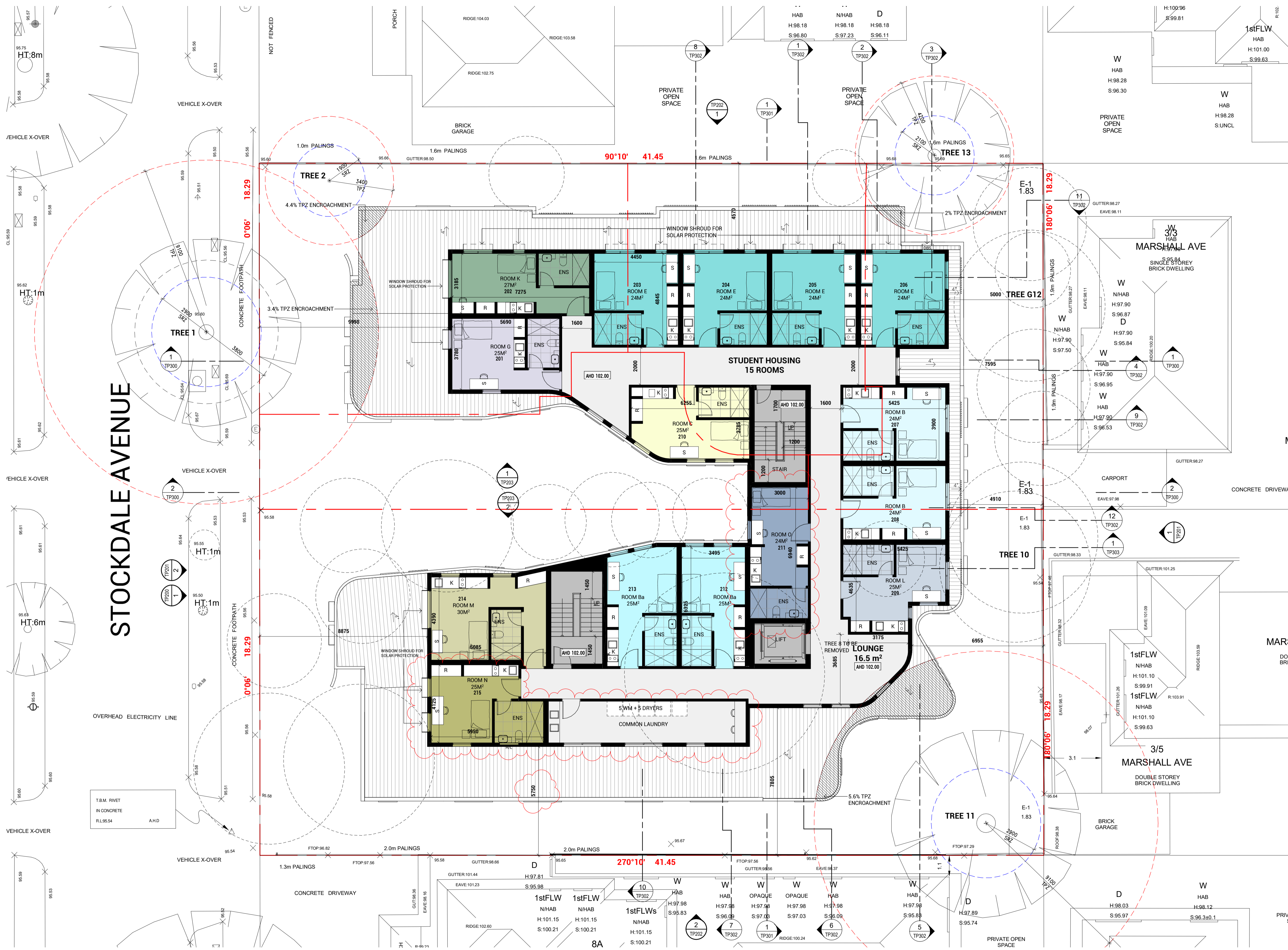
**Date**  
 20/06/25

TOWN PLANNING

Revision  
**C**

Project No.  
**19350**





**LEGEND:**

[Color swatch]	UNIT TYPE A
[Color swatch]	UNIT TYPE A-a
[Color swatch]	UNIT TYPE A-b
[Color swatch]	UNIT TYPE B
[Color swatch]	UNIT TYPE B-a
[Color swatch]	UNIT TYPE C
[Color swatch]	UNIT TYPE D
[Color swatch]	UNIT TYPE E
[Color swatch]	UNIT TYPE F (ACCESSIBLE)
[Color swatch]	UNIT TYPE G
[Color swatch]	UNIT TYPE H
[Color swatch]	UNIT TYPE I (ACCESSIBLE)
[Color swatch]	UNIT TYPE J
[Color swatch]	UNIT TYPE K
[Color swatch]	UNIT TYPE L
[Color swatch]	UNIT TYPE M
[Color swatch]	UNIT TYPE N
[Color swatch]	UNIT TYPE O
[Color swatch]	COMMON AREA

[Symbol]	EXISTING TREE TO REMAIN
[Symbol]	EXISTING TREES TO BE REMOVED
[Symbol]	PROPOSED NEW CANOPY TREE
[Symbol]	TREE PROTECTION ZONE REFER ARBORIST'S REPORT FOR DETAILS.
[Symbol]	STRUCTURAL ROOT ZONE REFER ARBORIST'S REPORT FOR DETAILS.
[Symbol]	H/L HIGHLIGHT WINDOW WITH MIN. 1.7m SILL
[Symbol]	MB MAIL BOXES
[Symbol]	OBS FIXED OBSCURED GLAZING TO MIN. 1.7m HIGH
[Symbol]	RET. RETAINING WALL
[Symbol]	RT RAINWATER TANK
[Symbol]	6m³ 6m³ STORAGE
[Symbol]	CL CLOTHESLINE
[Symbol]	[B] NOMINAL BIN LOCATION
[Symbol]	■ ELECTRICAL METER
[Symbol]	(G) GAS METER
[Symbol]	(W) WATER METER
[Symbol]	[MSB] MAIN SWITCHBOARD

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Project **STUDENT ACCOMMODATION**  
**4-6 STOCKDALE AVE, CLAYTON**  
 Client **WCL Developments**

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Title **SECOND FLOOR PLAN**  
 Sheet Status **TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No. **TP102**  
 Scale **1 : 100** at A1  
 Date **20/06/25**

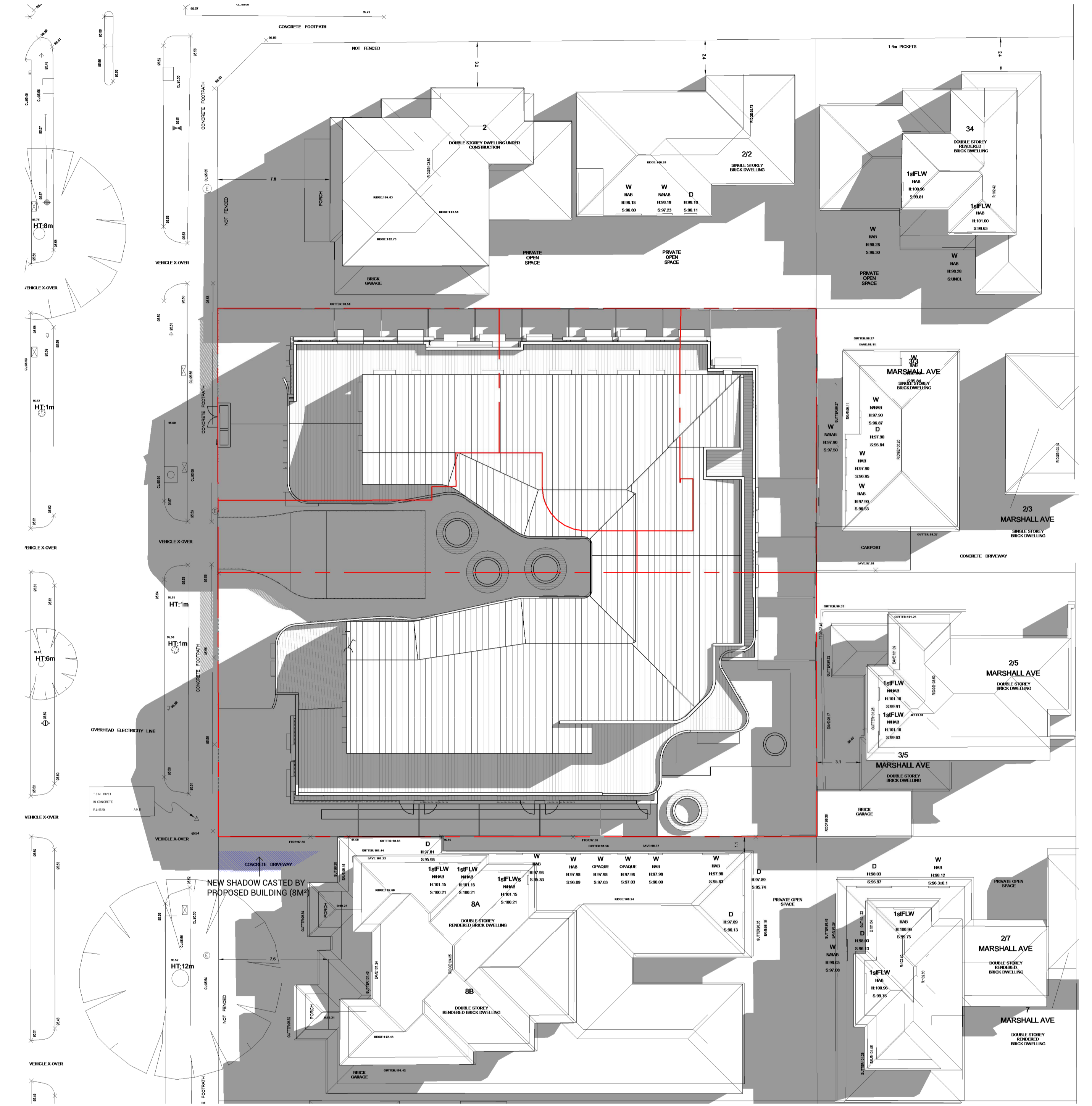
**TOWN PLANNING**  
 Revision **C**  
 Project No. **19350**





1 9am Shadow 22 September Existing  
SCALE 1 : 200

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2 9am Shadow 22 September  
SCALE 1 : 200

SHADOW DIAGRAM LEGEND  
 [Red outline] EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE  
 [Blue shaded area] ADDITIONAL SHADOW CAST BY PROPOSED BUILDING

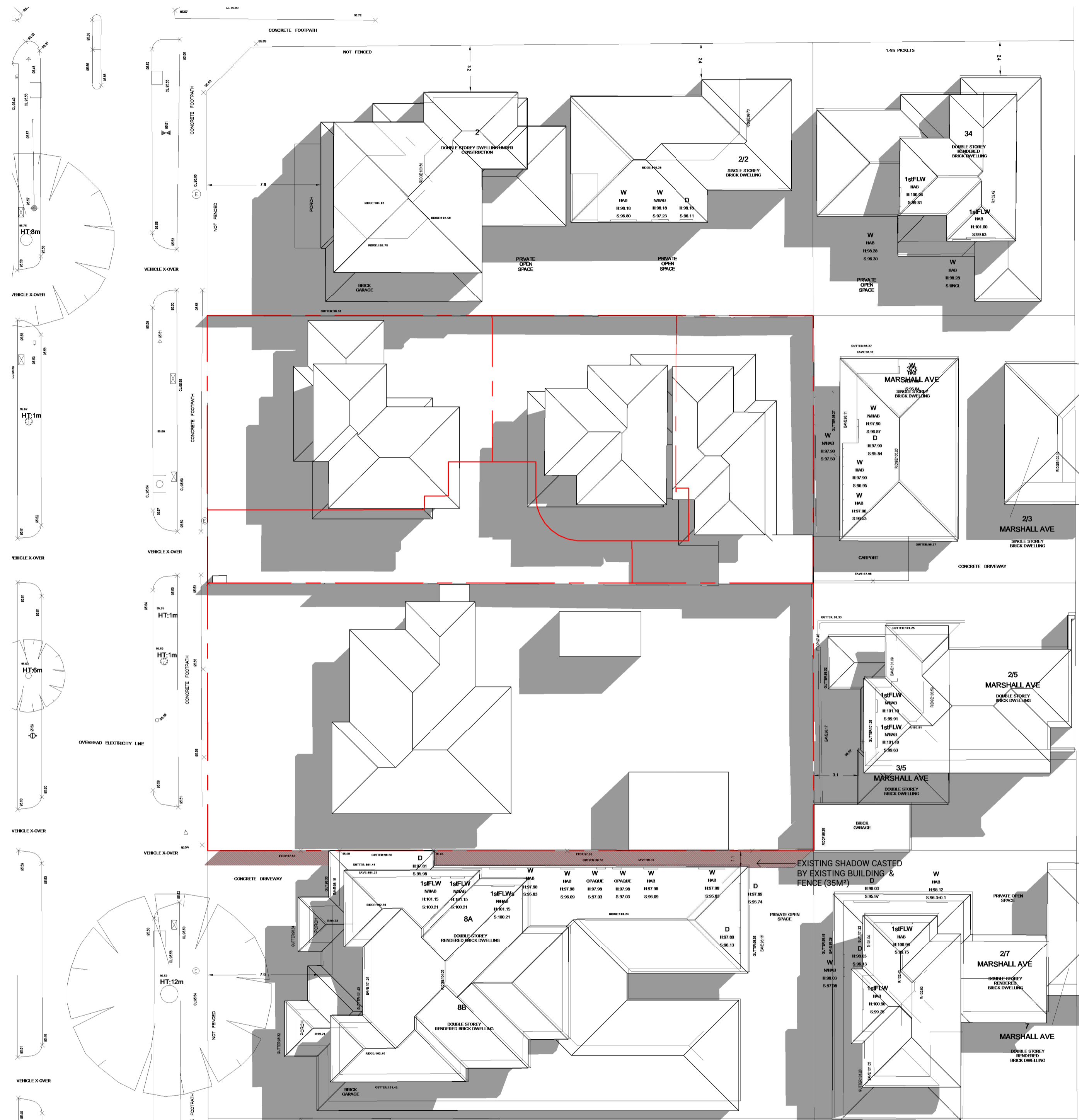
No.	Date	Notes	Issued By
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Title **SHADOW STUDY**  
Sheet Status **TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

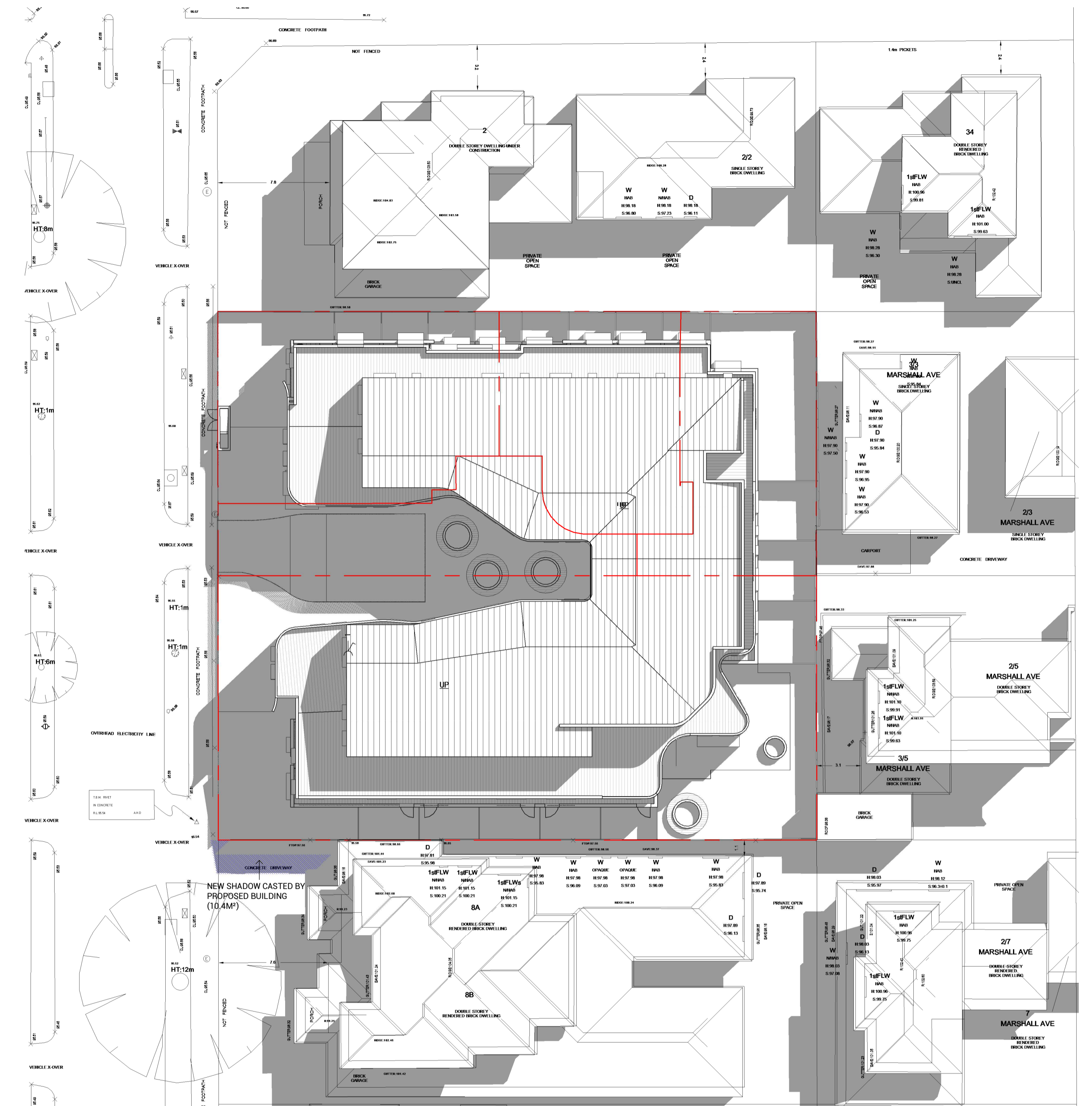
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Scale **1 : 200** at A1  
Date **20/06/25**

Revision **C**  
Project No. **19350**





1 10am Shadow 22 September\_Existing  
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2 10am Shadow 22 September  
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SHADOW DIAGRAM LEGEND

	EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE
	ADDITIONAL SHADOW CAST BY PROPOSED BUILDING



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**STUDENT ACCOMMODATION**  
**4-6 STOCKDALE AVE, CLAYTON**

Client  
**WCL Developments**

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Title  
**SHADOW STUDY**

Sheet Status  
**TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP151**

Scale  
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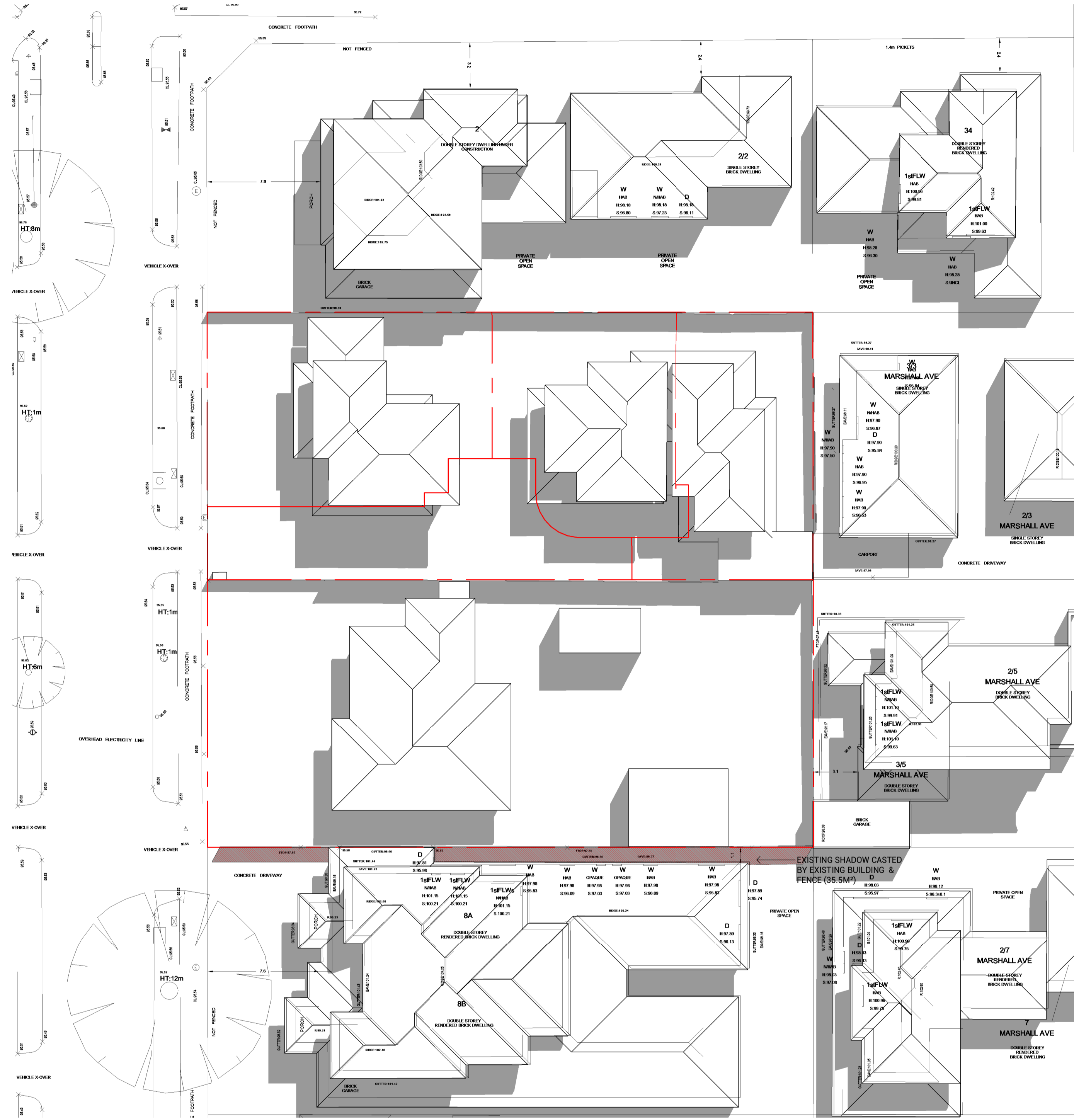
Date  
**20/06/25**

**TOWN PLANNING**

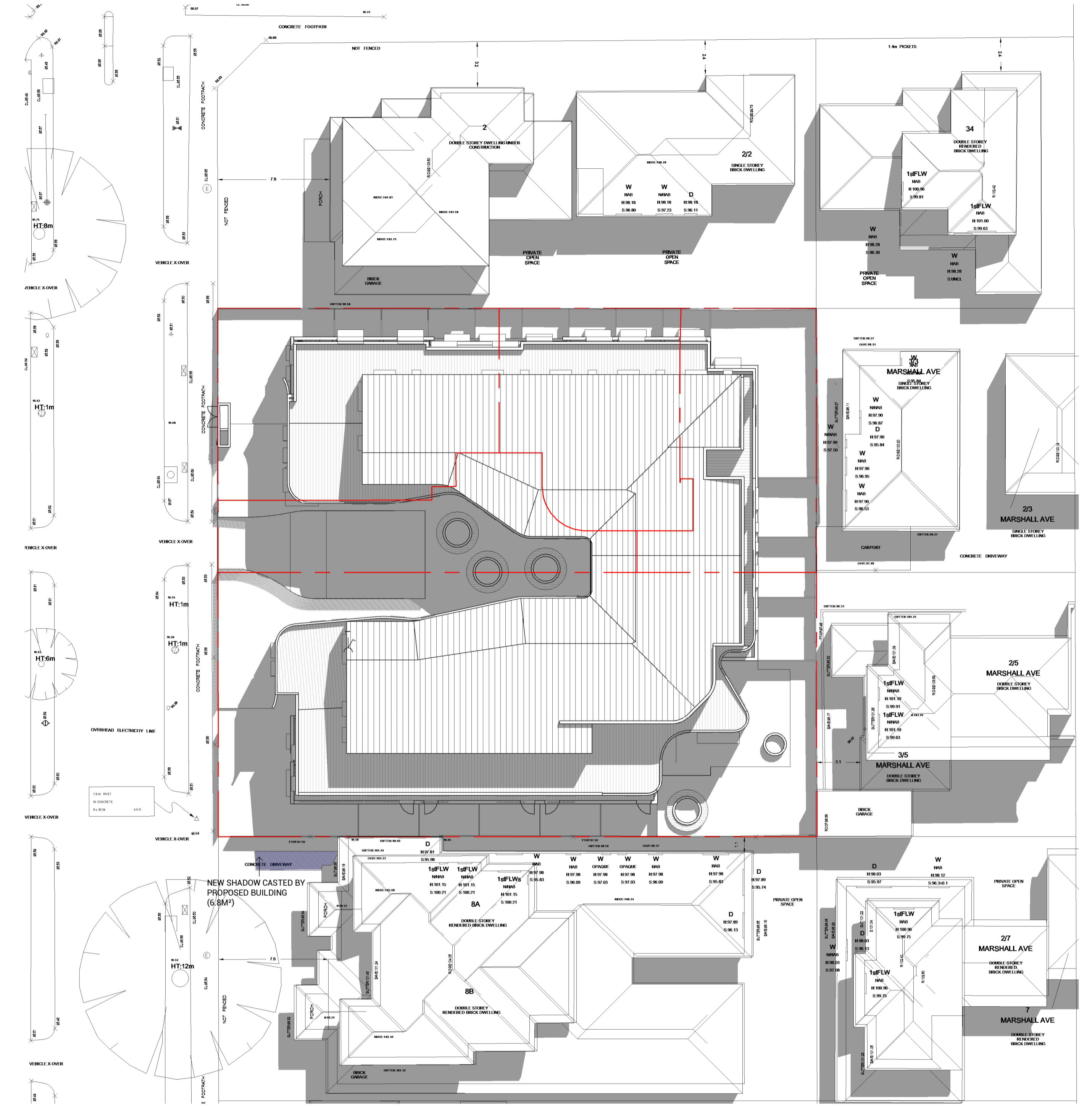
Revision  
**C**

Project No.  
**19350**





1 11am Shadow 22 September\_Existing  
SCALE 1 : 200



2 11am Shadow 22 September  
SCALE 1 : 200

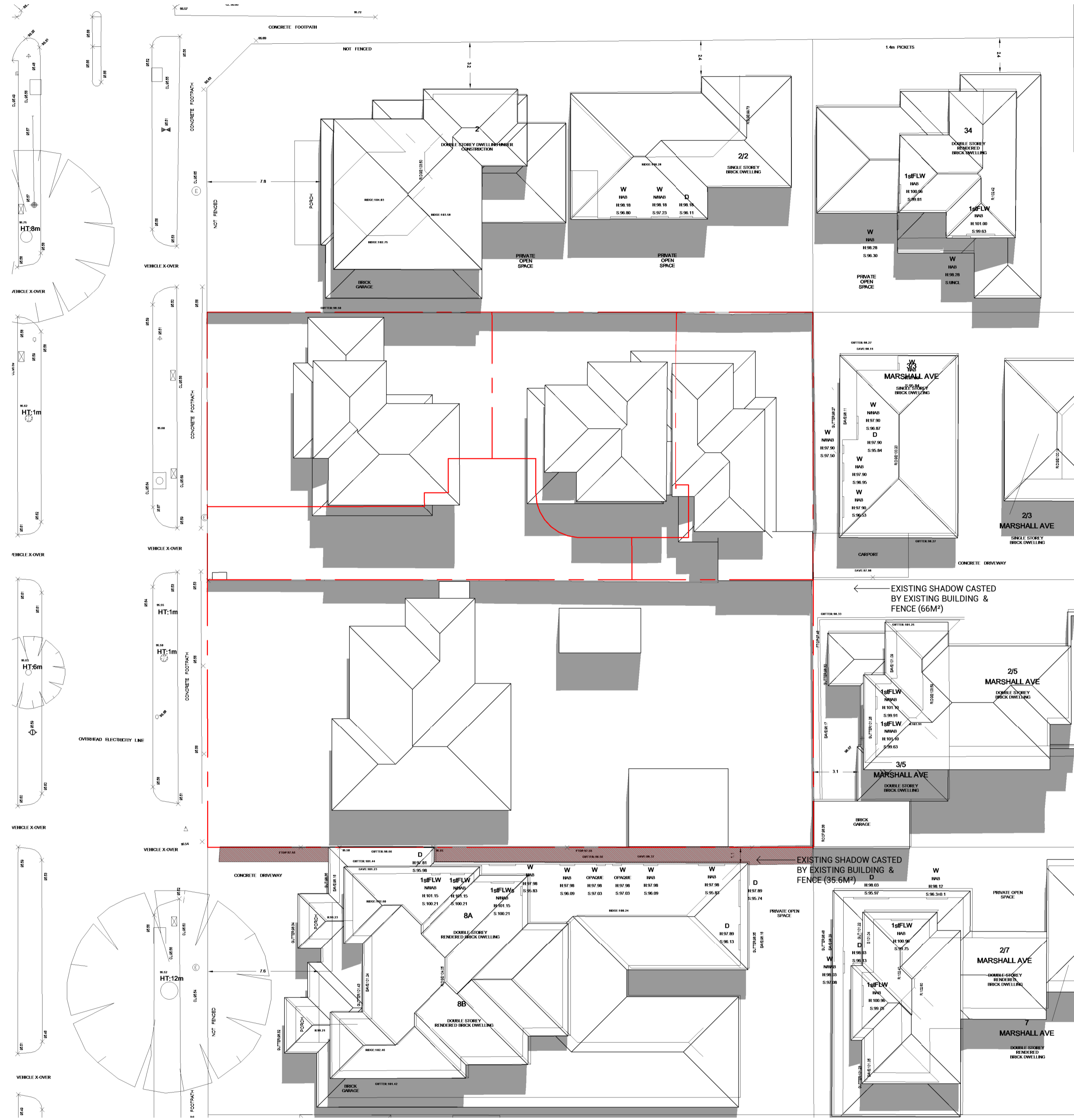
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SHADOW DIAGRAM LEGEND

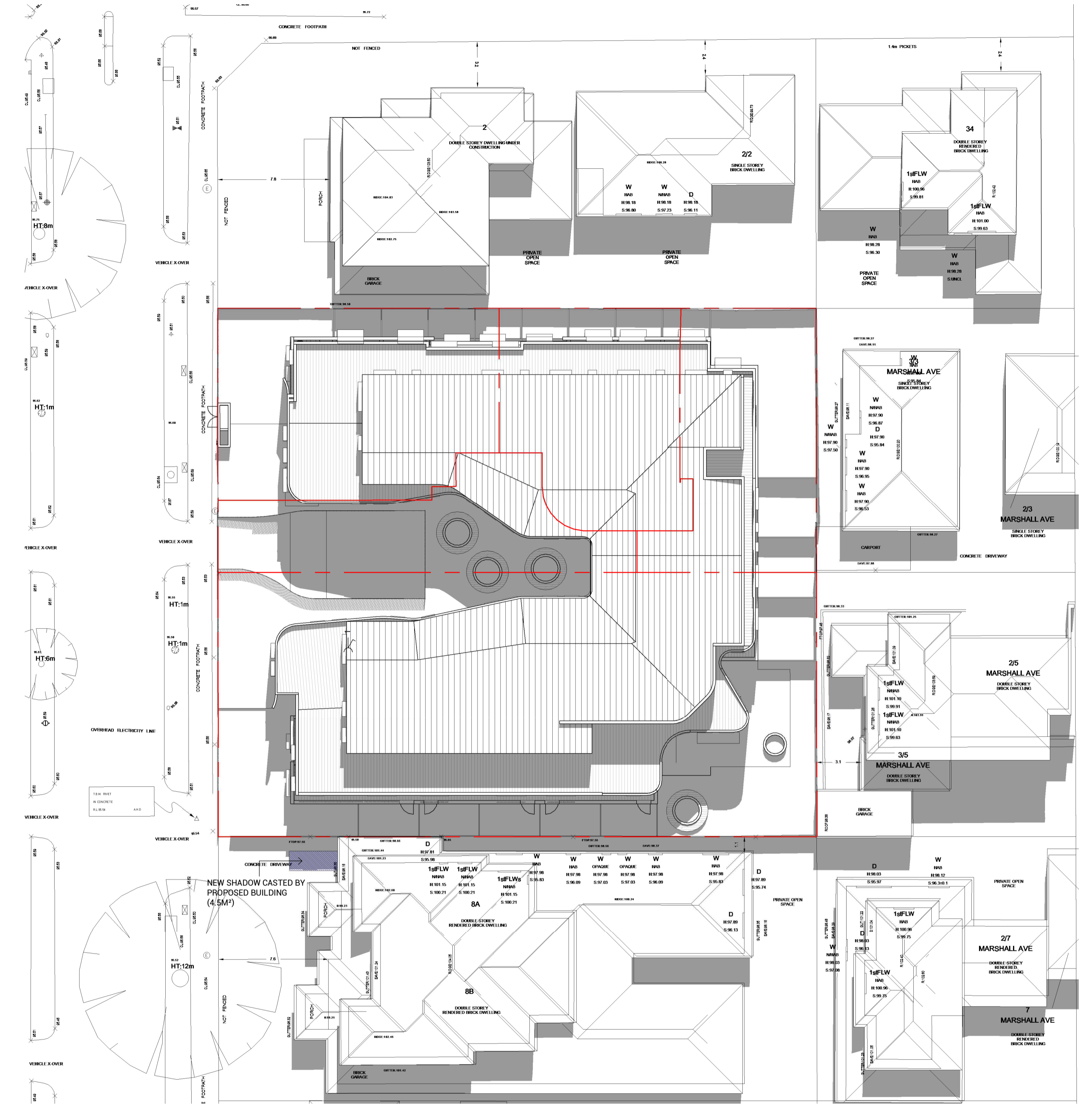
- EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE
- ADDITIONAL SHADOW CAST BY PROPOSED BUILDING

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1 12 Noon Shadow 22 September\_Existing  
SCALE 1 : 200



2 12 Noon Shadow 22 September  
SCALE 1 : 200

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SHADOW DIAGRAM LEGEND

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- NEW SHADOW CAST BY PROPOSED BUILDING



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4-6 STOCKDALE AVE, CLAYTON

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Title  
**SHADOW STUDY**

Sheet Status  
**TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP153**

Scale  
**1 : 200** at A1

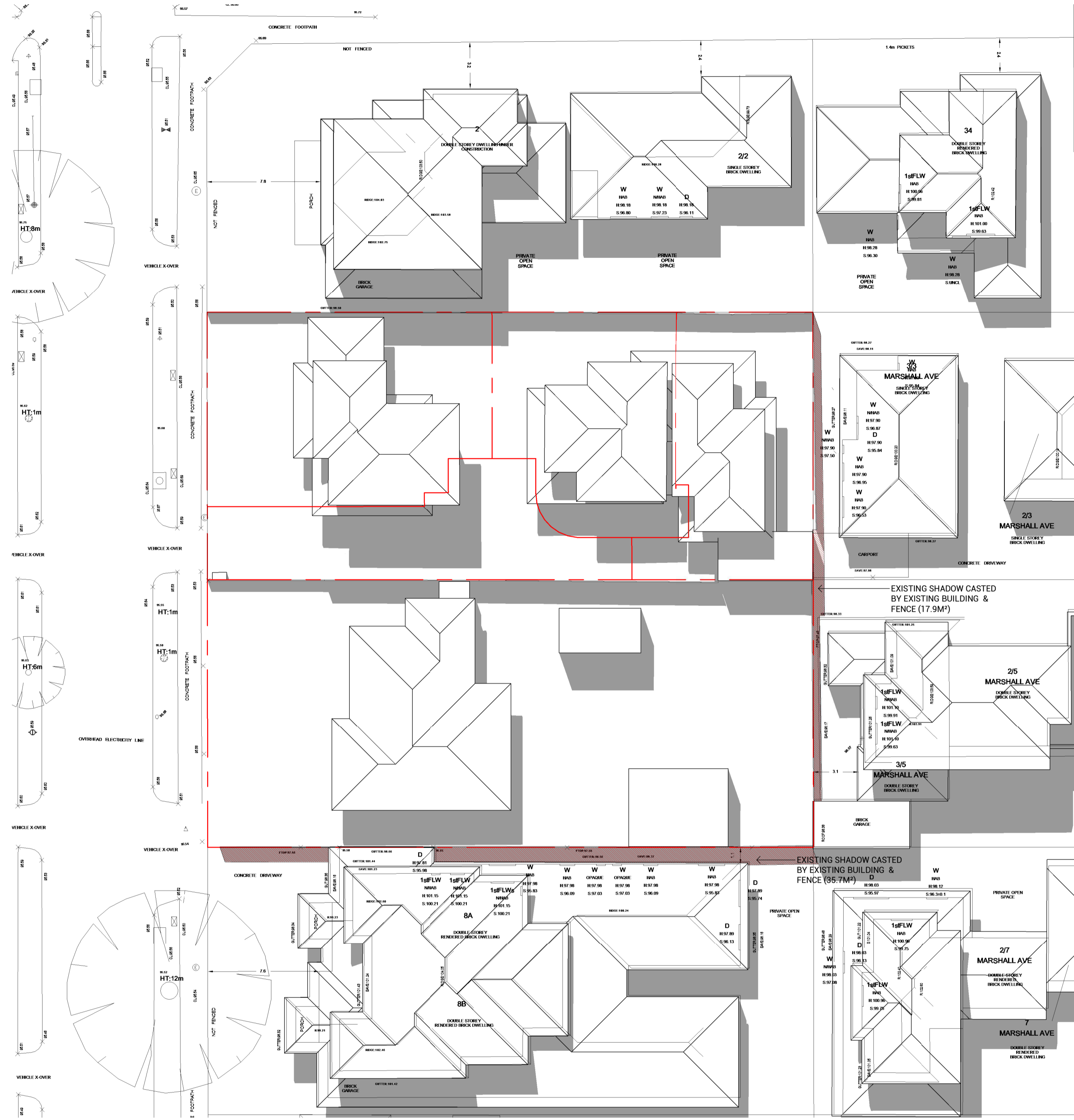
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**20/06/25**

**TOWN PLANNING**

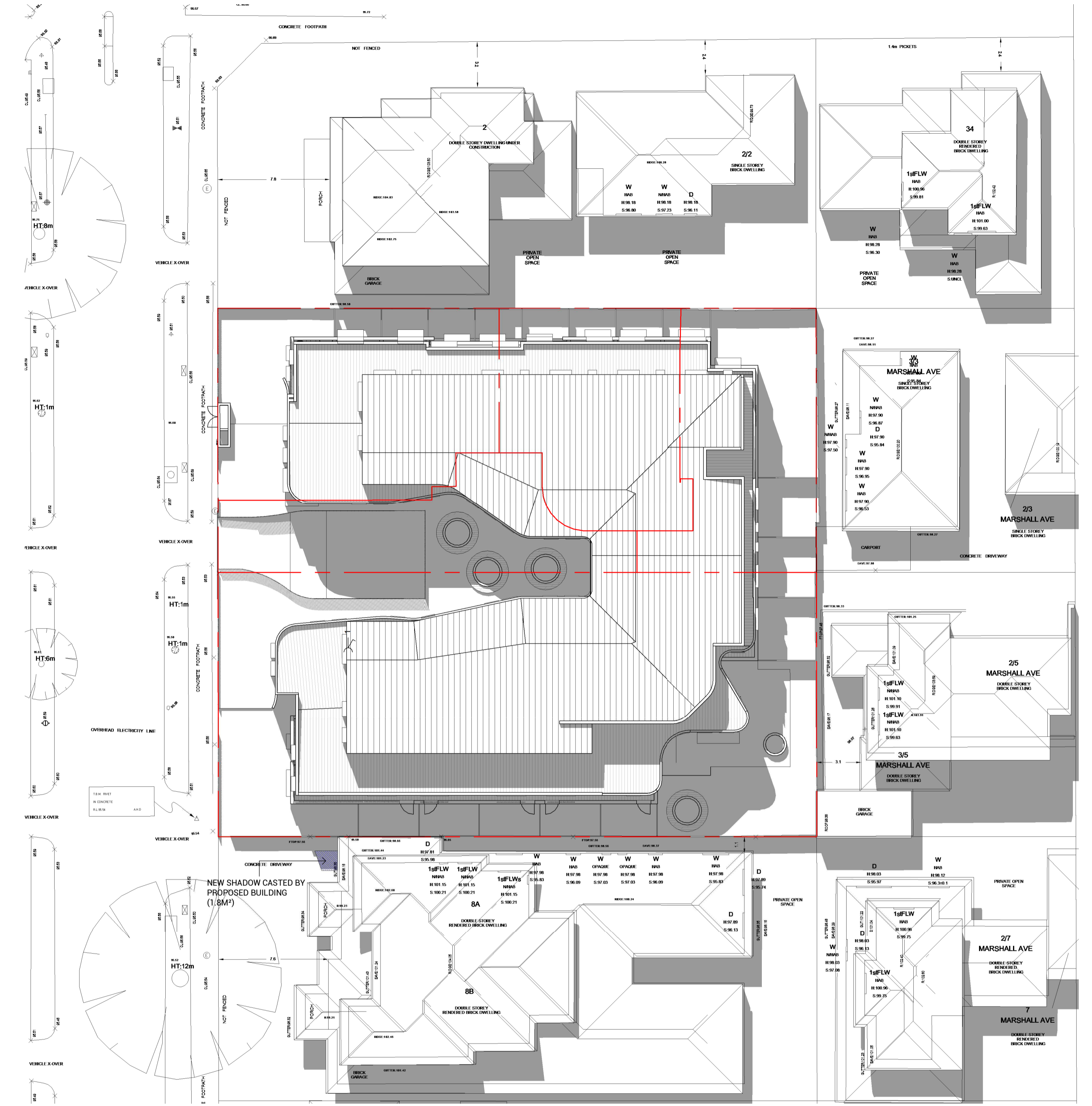
Revision  
**C**

Project No.  
**19350**





1 1pm Shadow 22 September\_Existing  
SCALE 1 : 200

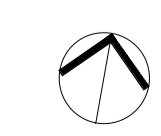


2 1pm Shadow 22 September  
SCALE 1 : 200

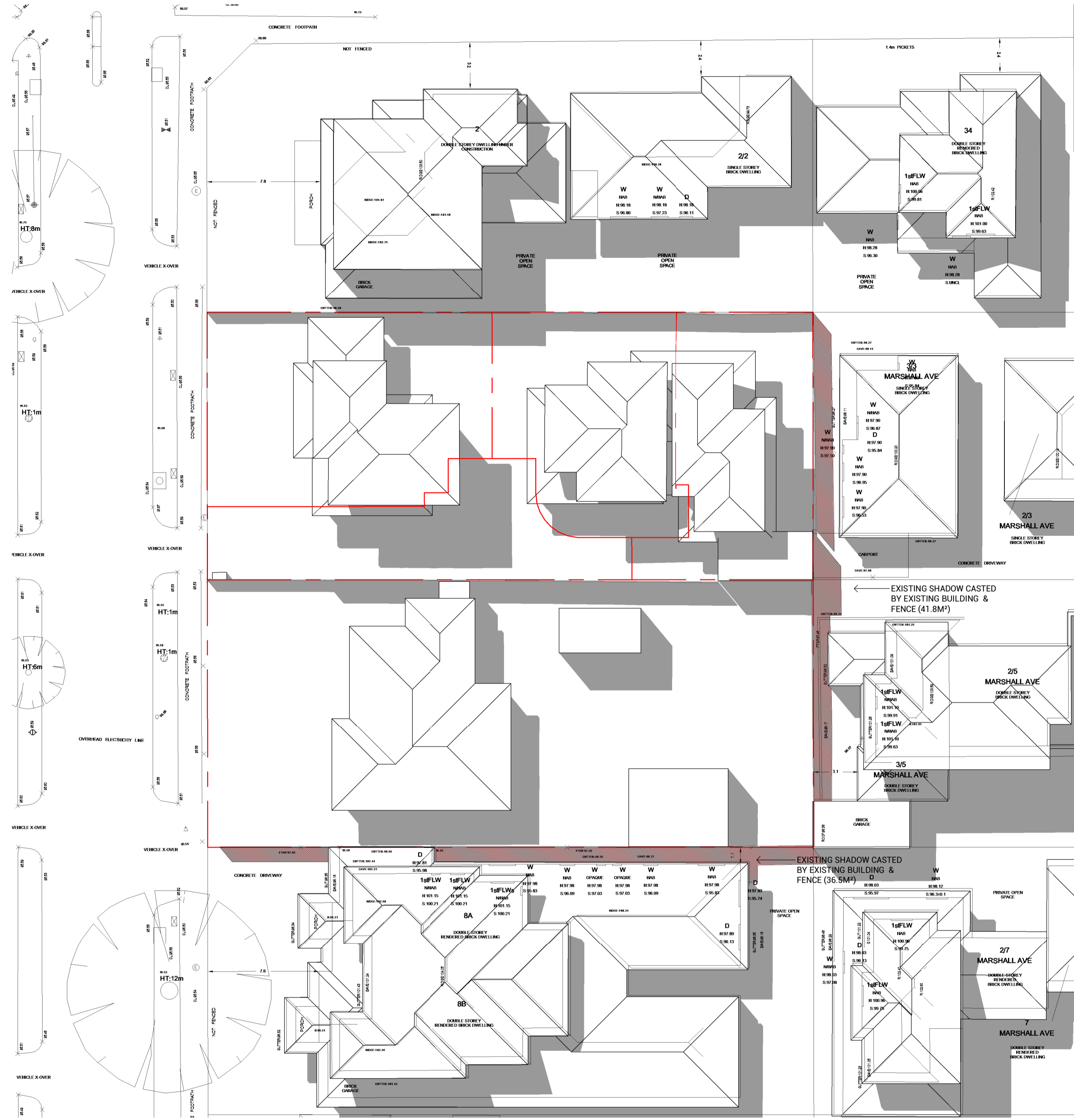
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SHADOW DIAGRAM LEGEND	
	EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE
	ADDITIONAL SHADOW CAST BY PROPOSED BUILDING

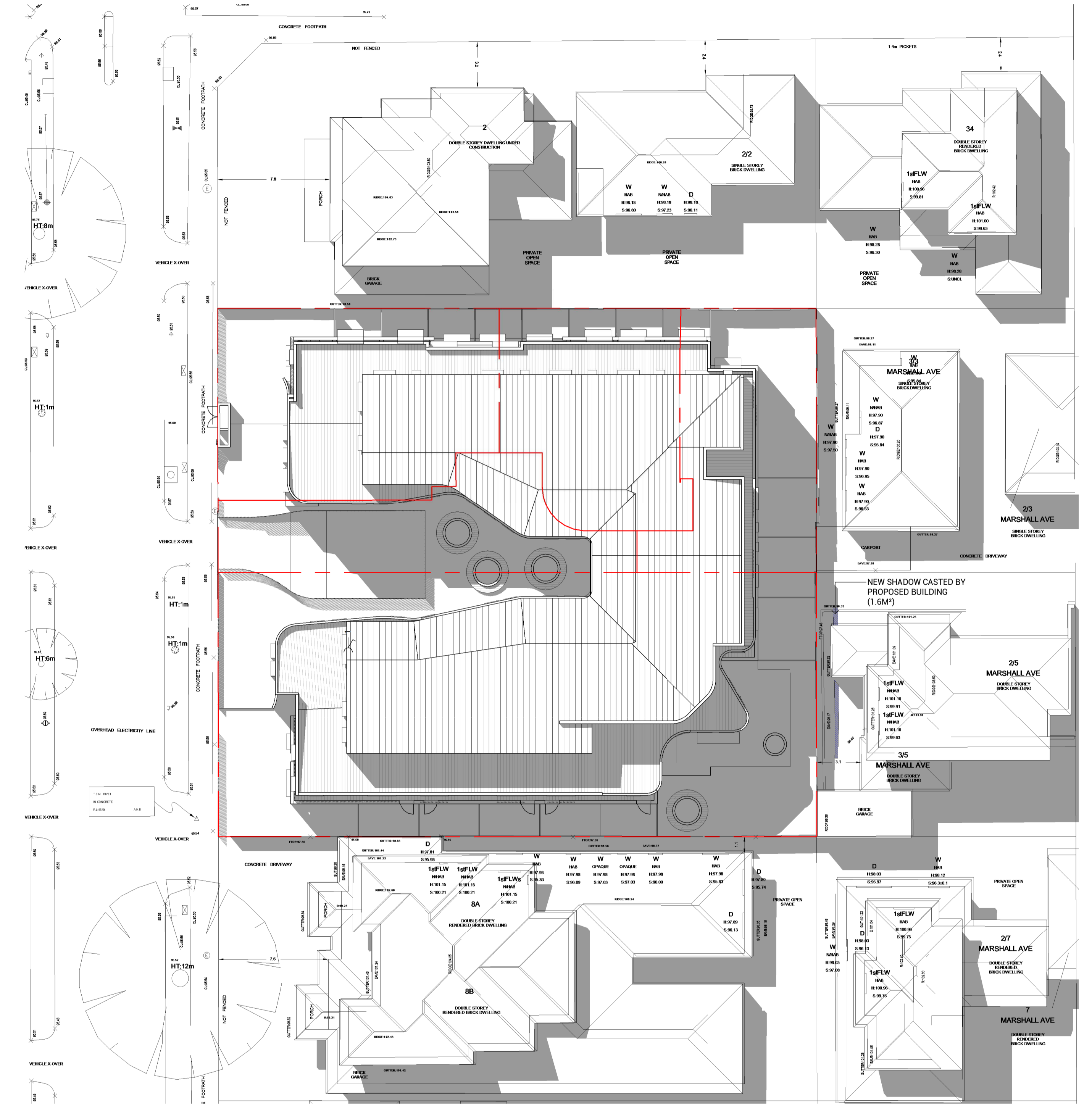
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1 2pm Shadow 22 September\_Existing  
SCALE 1 : 200



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SCALE 1 : 200

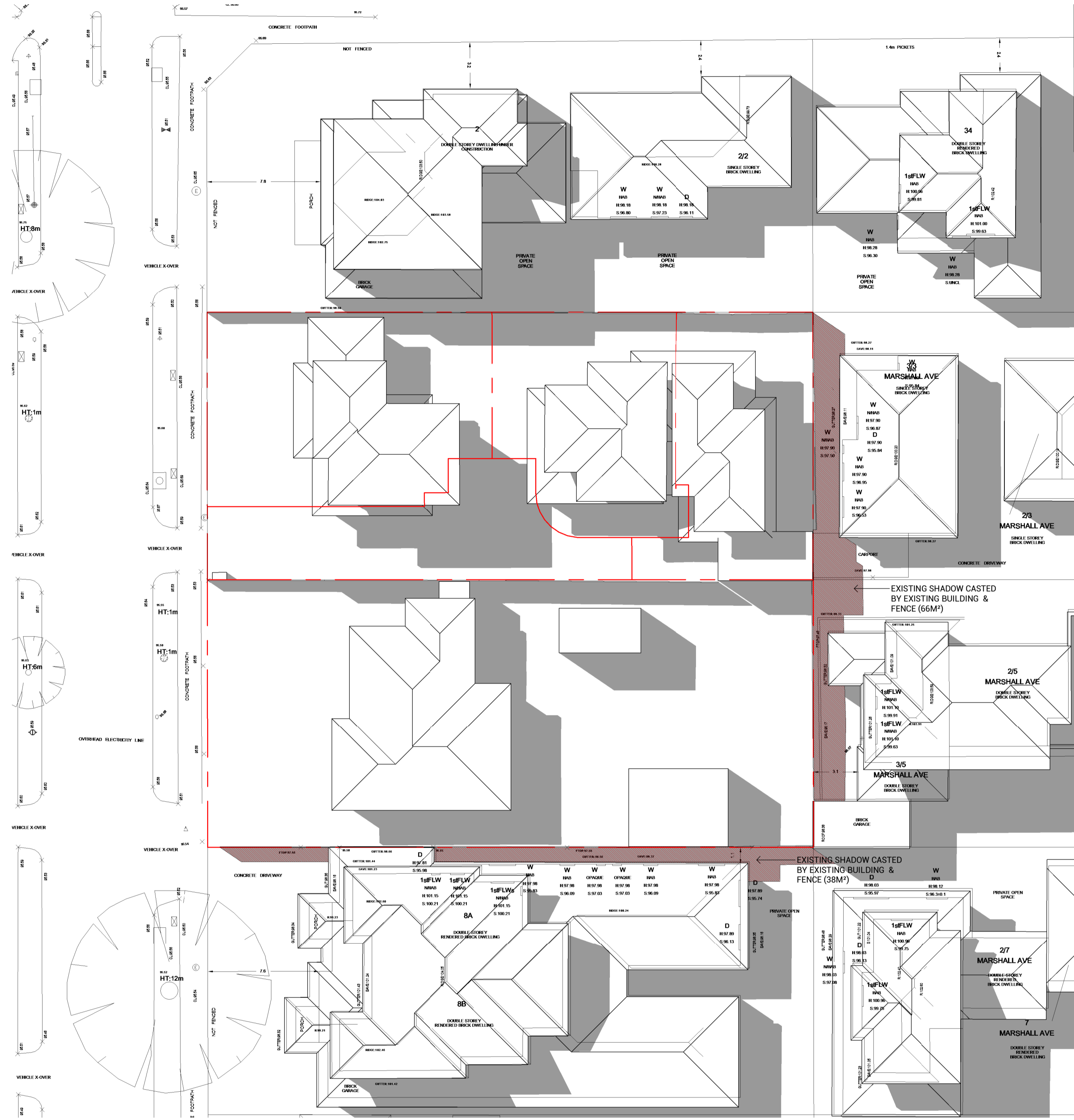
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SHADOW DIAGRAM LEGEND

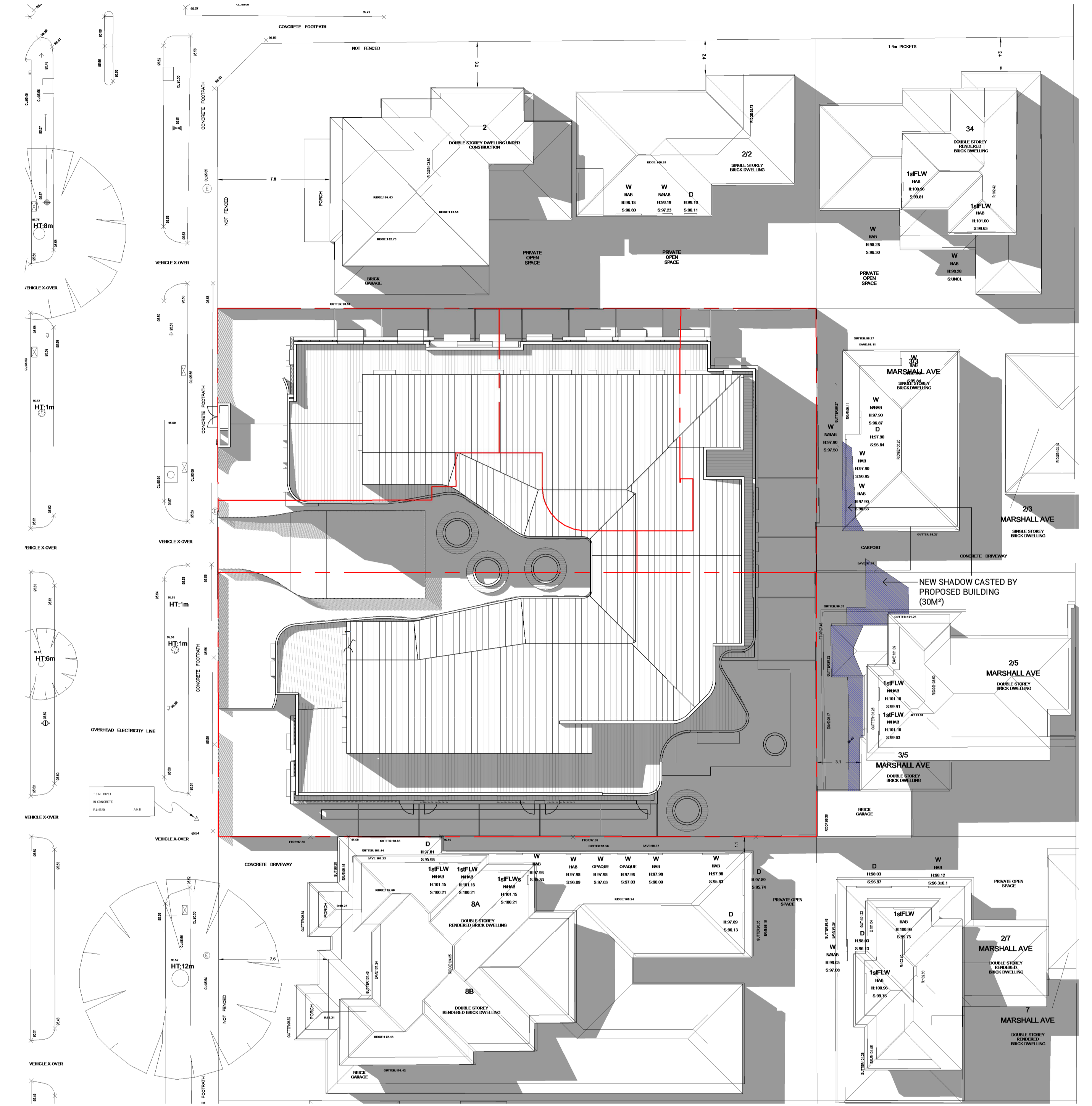
- EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE
- ADDITIONAL SHADOW CAST BY PROPOSED BUILDING

No.	Date	Notes	Issued By
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1 3pm Shadow 22 September\_Existing  
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2 3pm Shadow 22 September  
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SHADOW DIAGRAM LEGEND

	EXISTING SHADOW CAST BY EXISTING BUILDING & FENCE
	ADDITIONAL SHADOW CAST BY PROPOSED BUILDING

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**GARDEN AREA**  
 TOTAL SITE AREA: 1510.7 m<sup>2</sup>  
 TOTAL GARDEN AREA: 569.6 m<sup>2</sup>      37.7%

**LEGEND:**

- APPLICABLE GARDEN AREA
- DRIVEWAY
- DEEP SOIL
- PROPOSED CANOPY TREE
- EXISTING TREES TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
- STRUCTURAL ROOT ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.

**TOWN PLANNING**

Revision  
**C**  
 Project No.  
**19350**

**PWA**  
 Architecture | Interior Design  
 Parallel Workshop Pty Ltd  
 ACN 611 137 458  
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 E: info@parallelworkshop.com.au  
 T: +61 03 93020100

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**4-6 STOCKDALE AVE, CLAYTON**

Client  
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Title  
**GARDEN AREA PLAN**

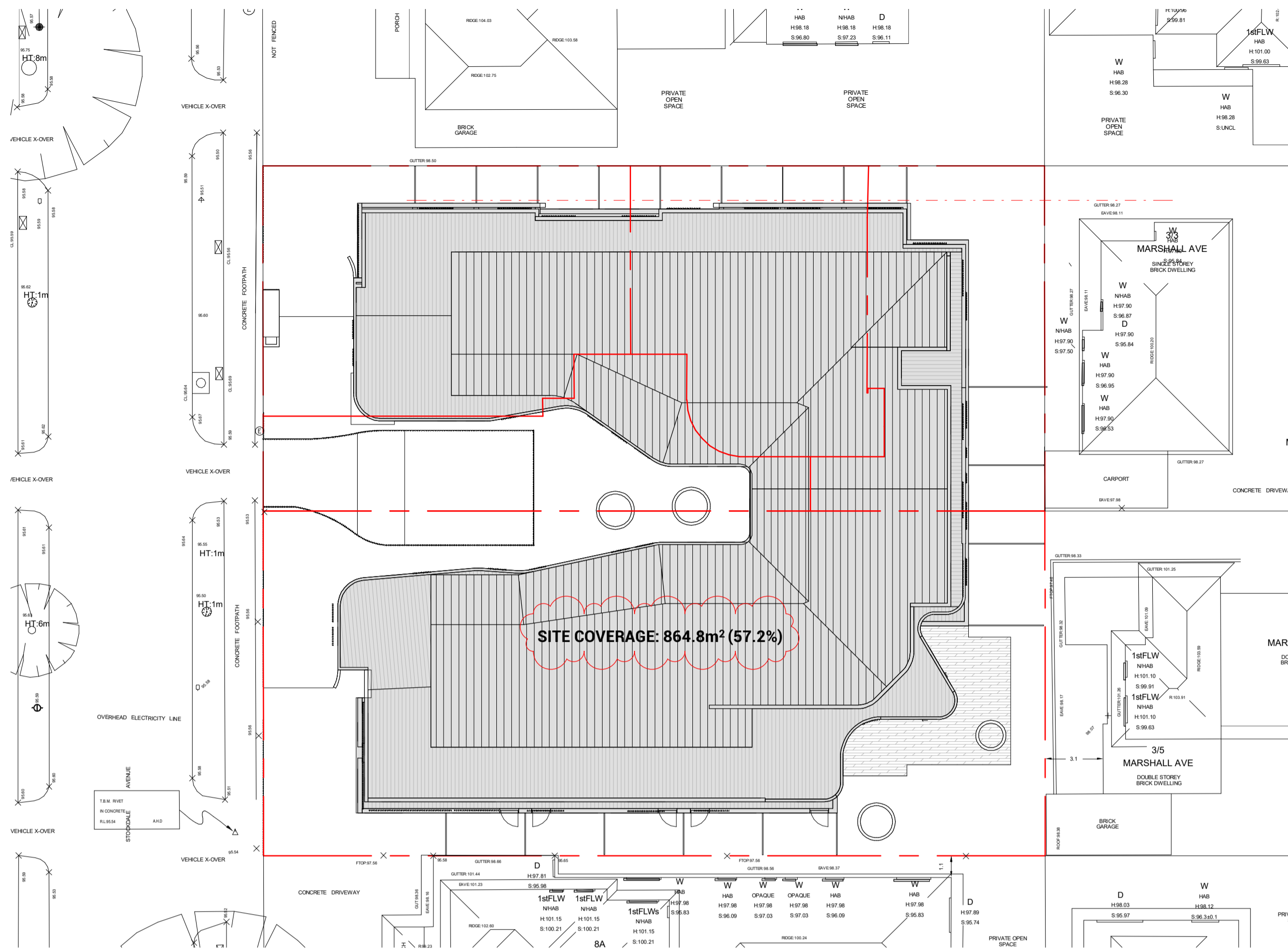
Sheet Status  
**TOWN PLANNING**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP160**

Scale  
**1 : 100** at A1

Date  
**20/06/25**





**1 TP - Site Coverage Plan**  
SCALE 1 : 200



**2 TP - Permeability Area Plan**  
SCALE 1 : 200

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**LEGEND:**

- DRIVEWAY
- SITE COVERAGE AREA
- APPLICABLE PERMEABLE AREA
- DEEP SOIL
- PROPOSED CANOPY TREE
- EXISTING TREES TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.
- STRUCTURAL ROOT ZONE  
REFER ARBORIST'S REPORT FOR DETAILS.

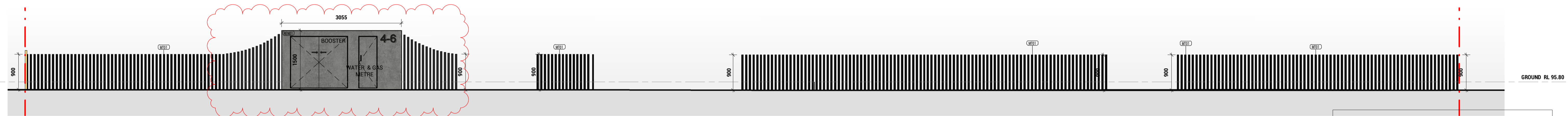
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SUBJECT SITE



1 TP - Street Front Interface  
SCALE 1 : 100



2 TP - Front Fence Elevation  
SCALE 1 : 50

MATERIAL LEGEND

	BR01	BRICK
	REN01	APPLIED RENDER FINISH - GREY
	REN02	APPLIED RENDER FINISH - WHITE
	GL01	SELECTED GLAZING- CLEAR
	GL02	SELECTED GLAZING- OBSCURED
	MT01	BALUSTRADE
	MT02	METAL SHEET
	MT04	METAL FRAME - DARK GREY
	AP01	APPLIED FINISH- VERTICAL
	RF02	METAL ROOF - DARK
	TB01	TIMBER FENCE

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1 TP- East Elevation  
 SCALE 1 : 100



2 TP - West Elevation  
 SCALE 1 : 100

MATERIAL LEGEND	
	BR01 BRICK
	REN01 APPLIED RENDER FINISH - GREY
	REN02 APPLIED RENDER FINISH - WHITE
	GL01 SELECTED GLAZING - CLEAR
	GL02 SELECTED GLAZING - OBSCURED
	MT01 BALUSTRADE
	MT02 METAL SHEET
	MT04 METAL FRAME - DARK GREY
	AP01 APPLIED FINISH- VERTICAL
	RF02 METAL ROOF - DARK
	TB01 TIMBER FENCE

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1 TP - North Elevation  
 SCALE 1 : 100



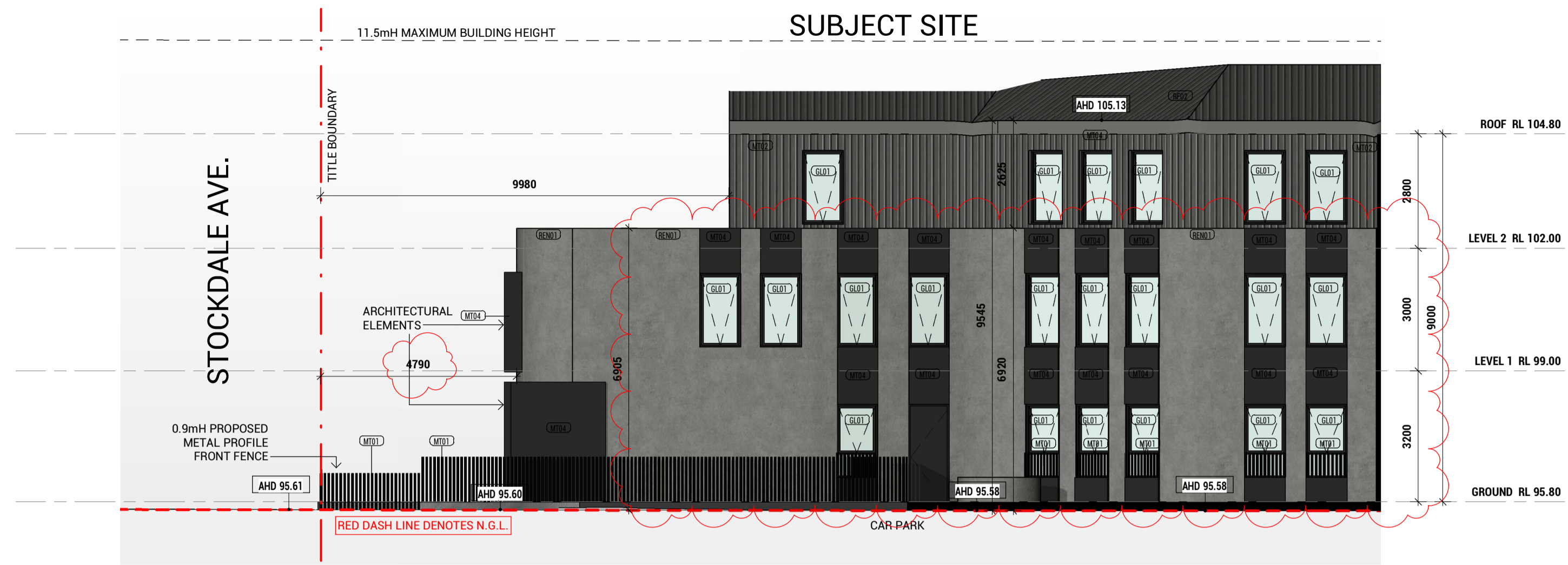
2 TP - South Elevation  
 SCALE 1 : 100

MATERIAL LEGEND	
	BR01 BRICK
	REN01 APPLIED RENDER FINISH - GREY
	REN02 APPLIED RENDER FINISH - WHITE
	GL01 SELECTED GLAZING - CLEAR
	GL02 SELECTED GLAZING - OBSCURED
	MT01 BALUSTRADE
	MT02 METAL SHEET
	MT04 METAL FRAME - DARK GREY
	AP01 APPLIED FINISH - VERTICAL
	RF02 METAL ROOF - DARK
	TB01 TIMBER FENCE

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1 TP - North Internal Courtyard Elevation  
 SCALE 1 : 100



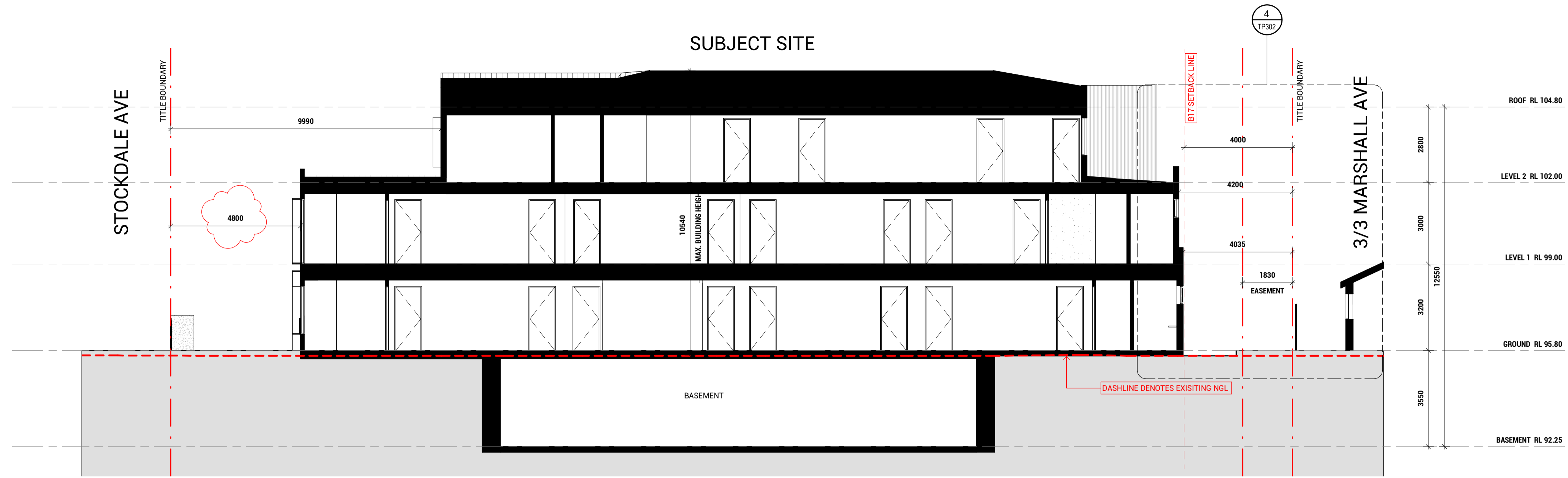
2 TP - South Internal Courtyard Elevation  
 SCALE 1 : 100

MATERIAL LEGEND		
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	REN02	APPLIED RENDER FINISH - WHITE
	GL01	SELECTED GLAZING- CLEAR
	GL02	SELECTED GLAZING- OBSCURED
	MT01	BALUSTRADE
	MT02	METAL SHEET
	MT04	METAL FRAME - DARK GREY
	AP01	APPLIED FINISH- VERTICAL
	RF02	METAL ROOF - DARK
	TB01	TIMBER FENCE

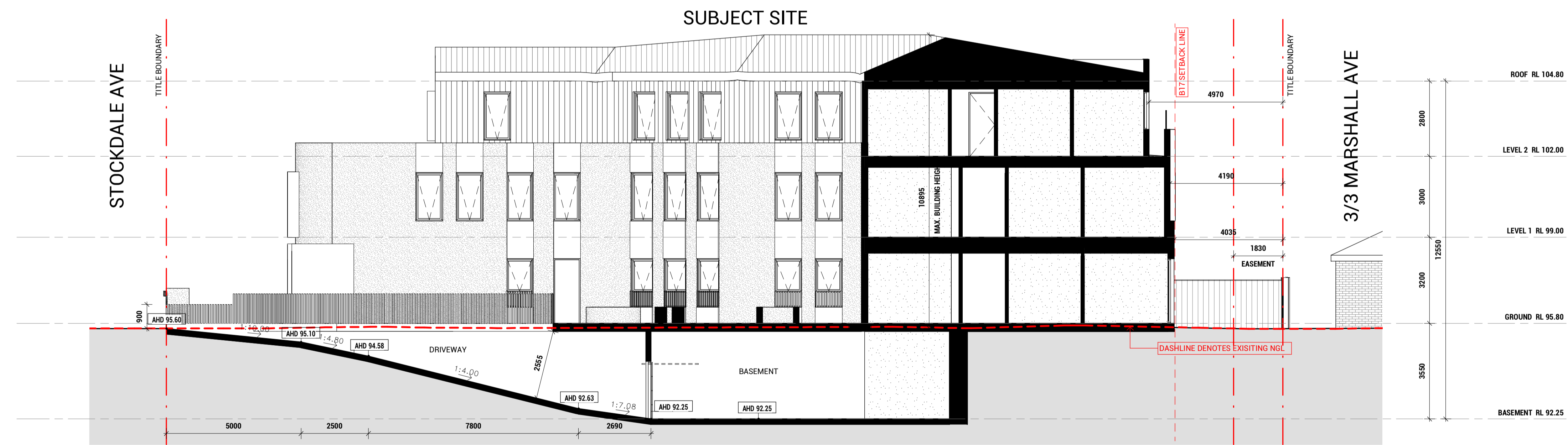
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1 General Arrangement Section AA  
 SCALE 1 : 100

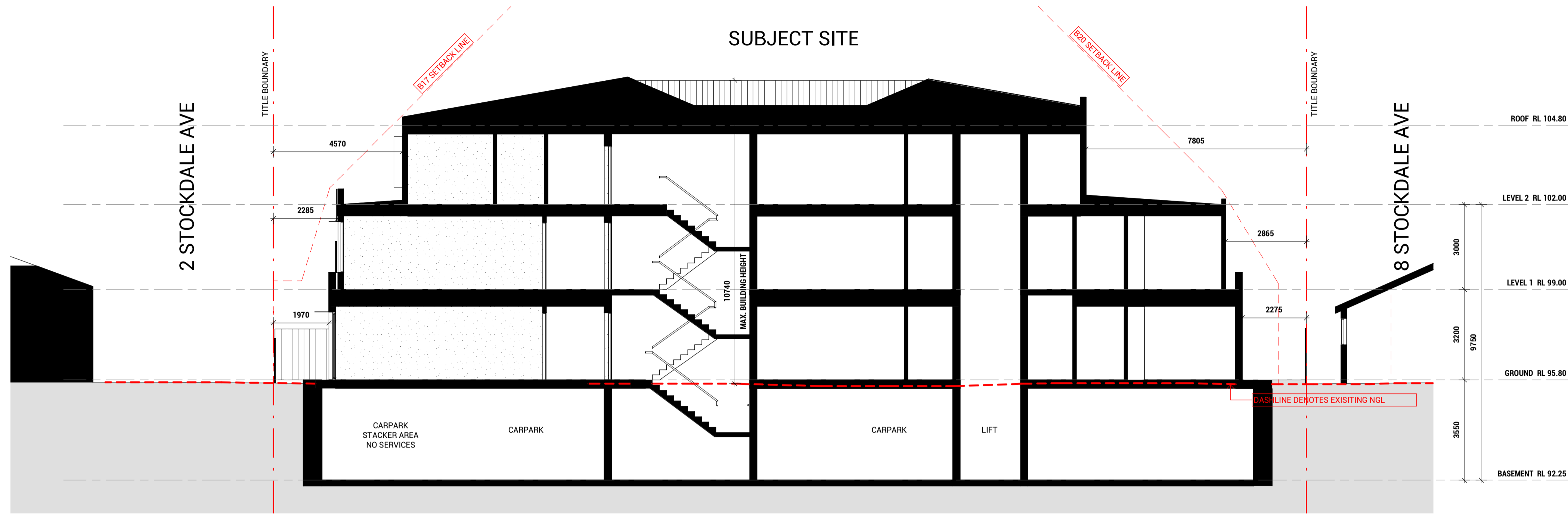


2 General Arrangement Section BB  
 SCALE 1 : 100

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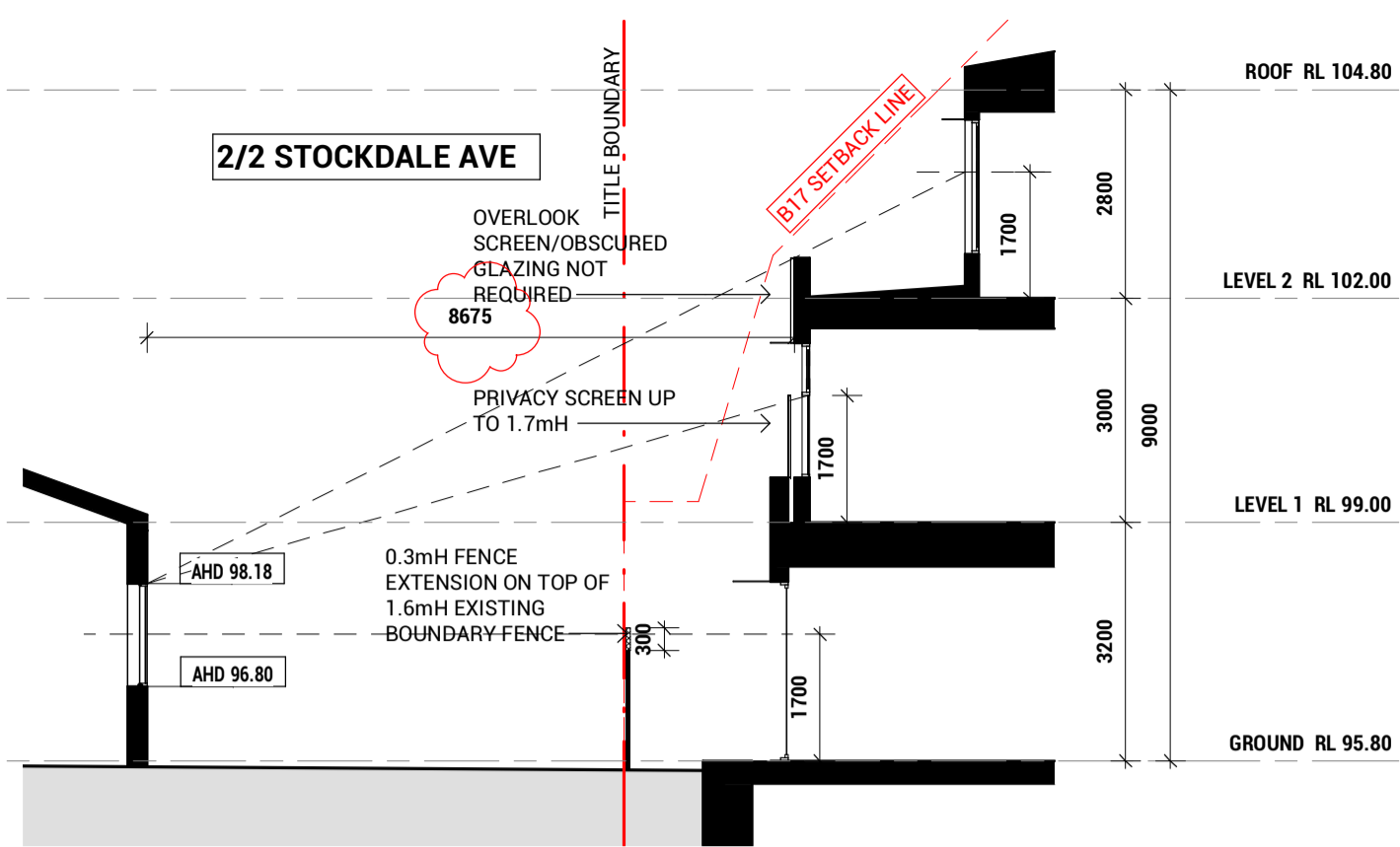
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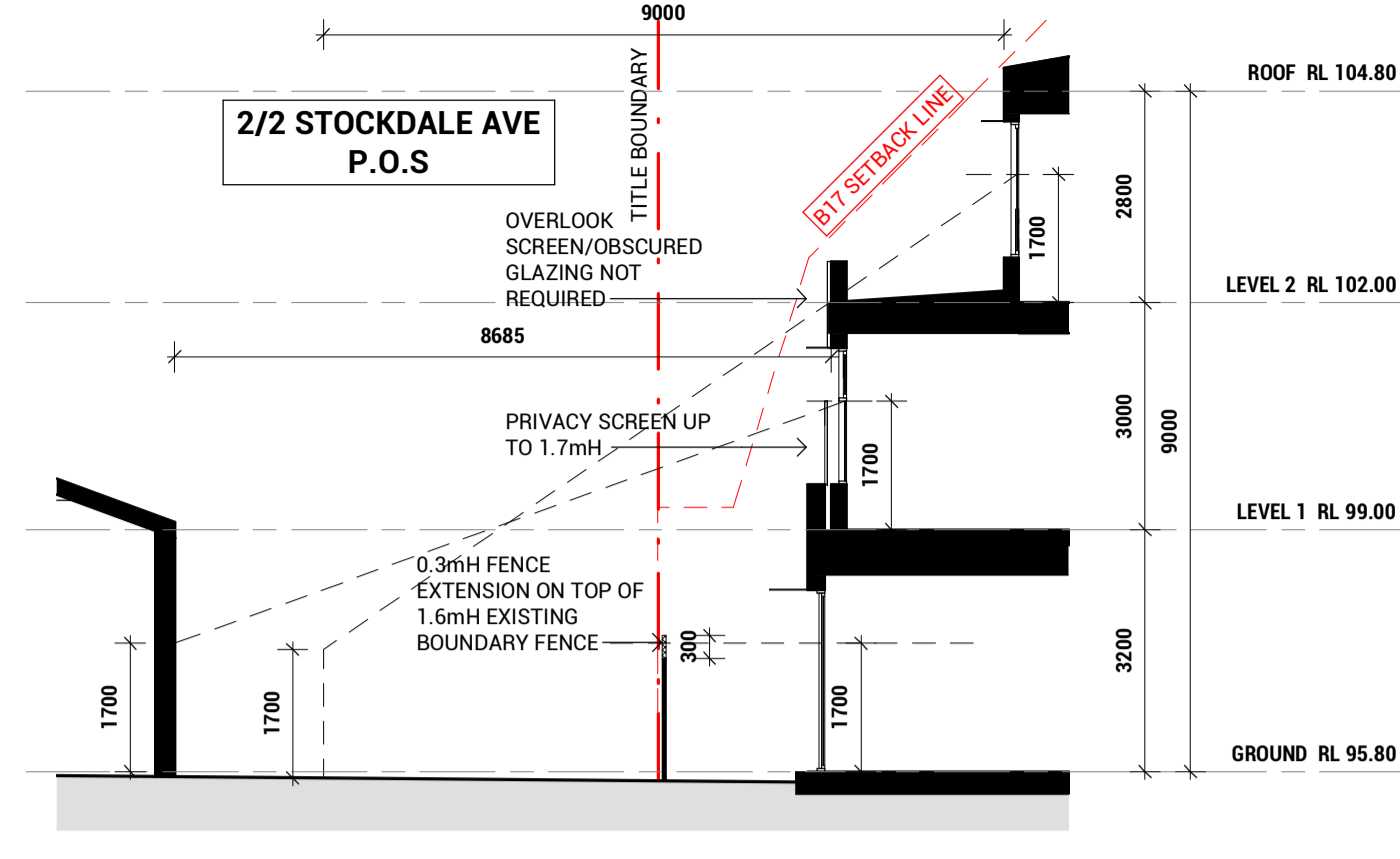
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No.	Date	Notes	Issued By
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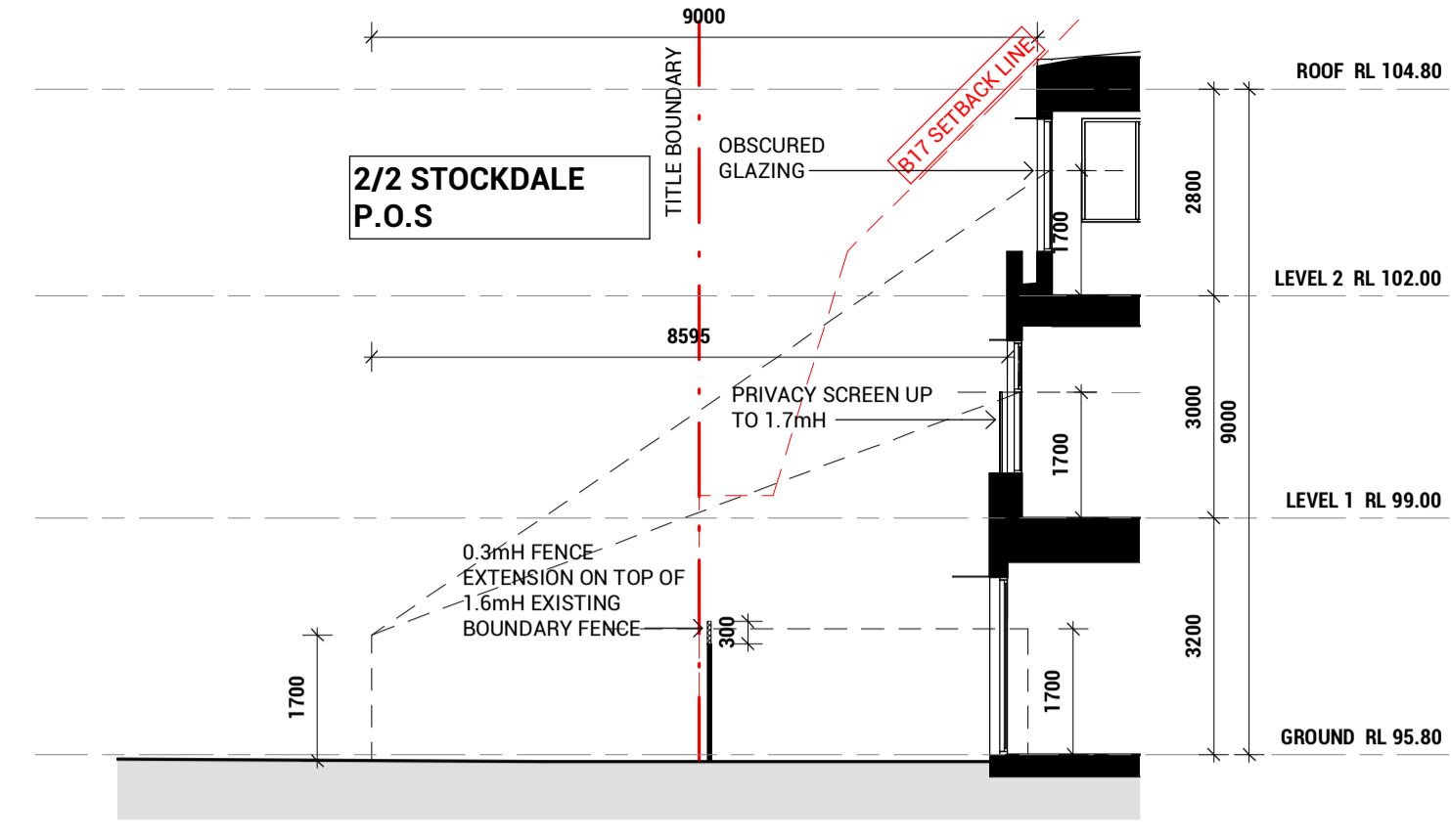




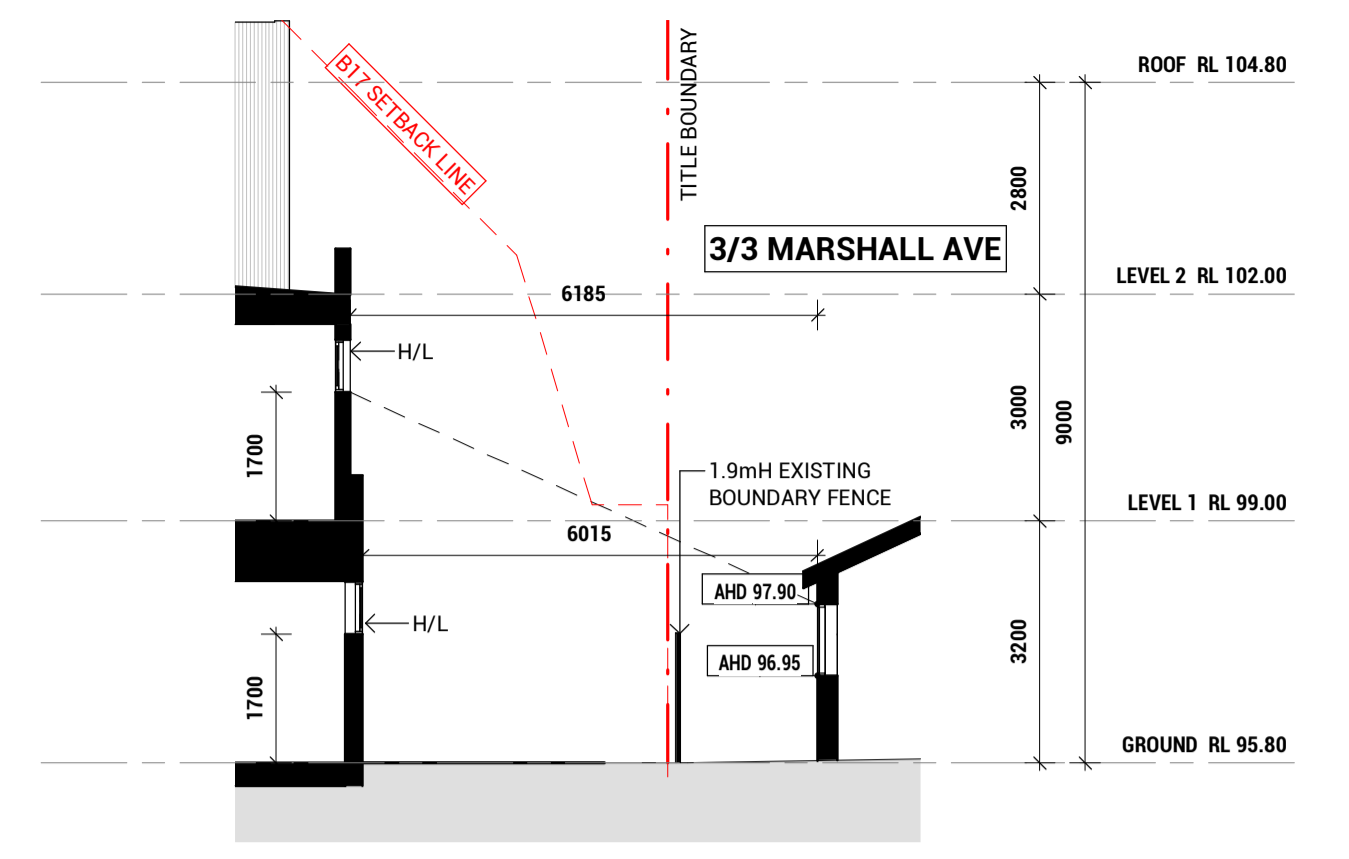
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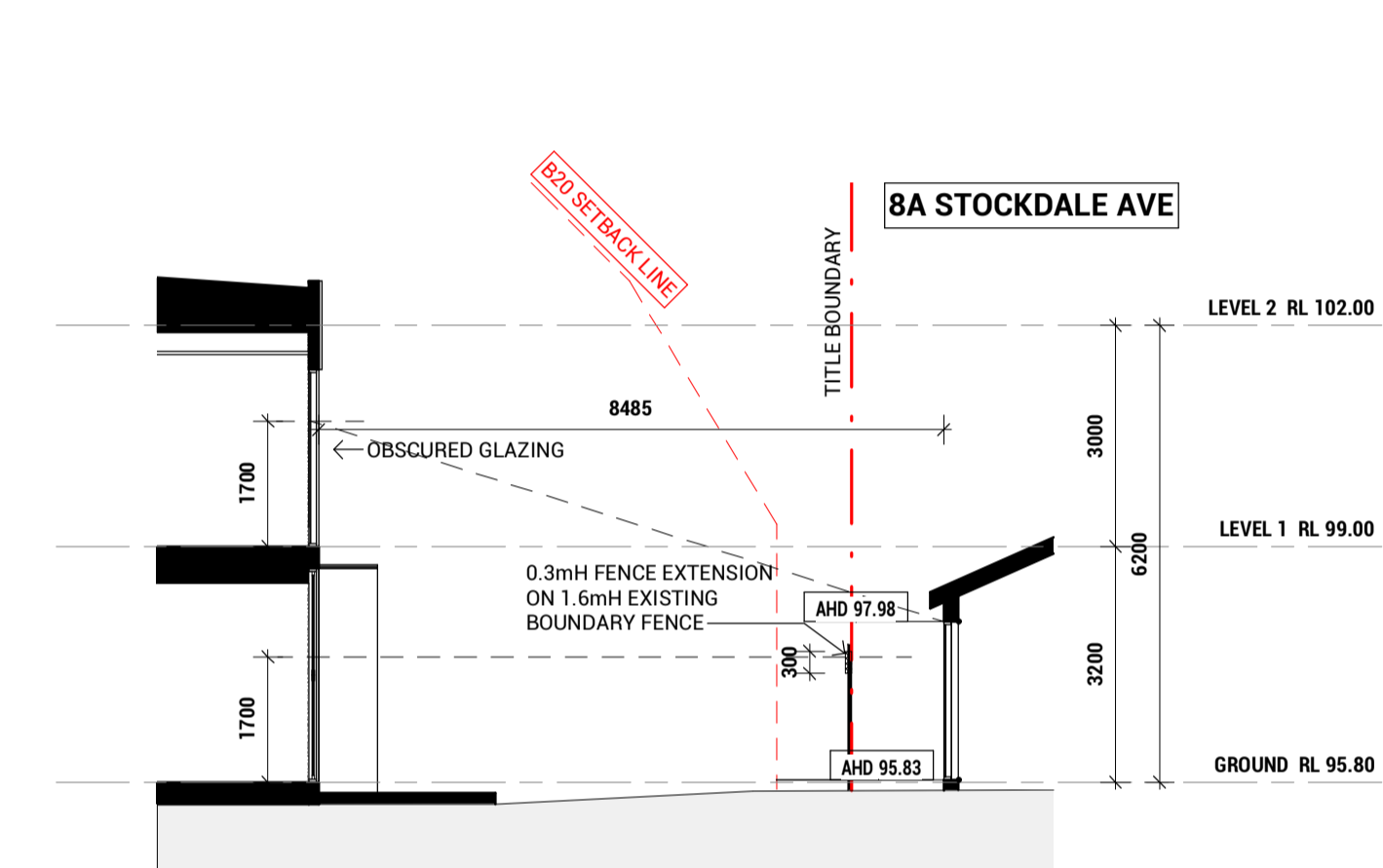
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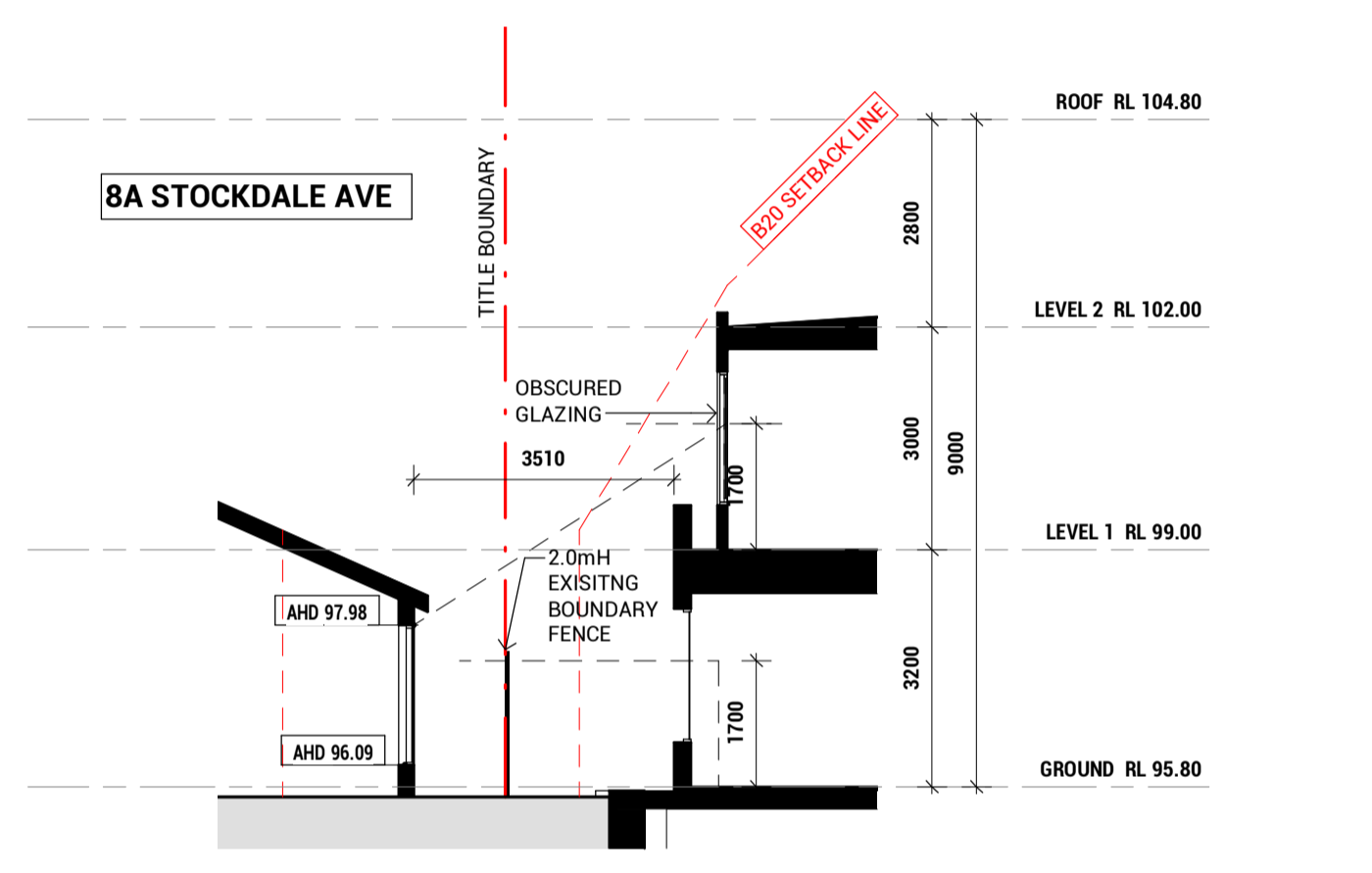
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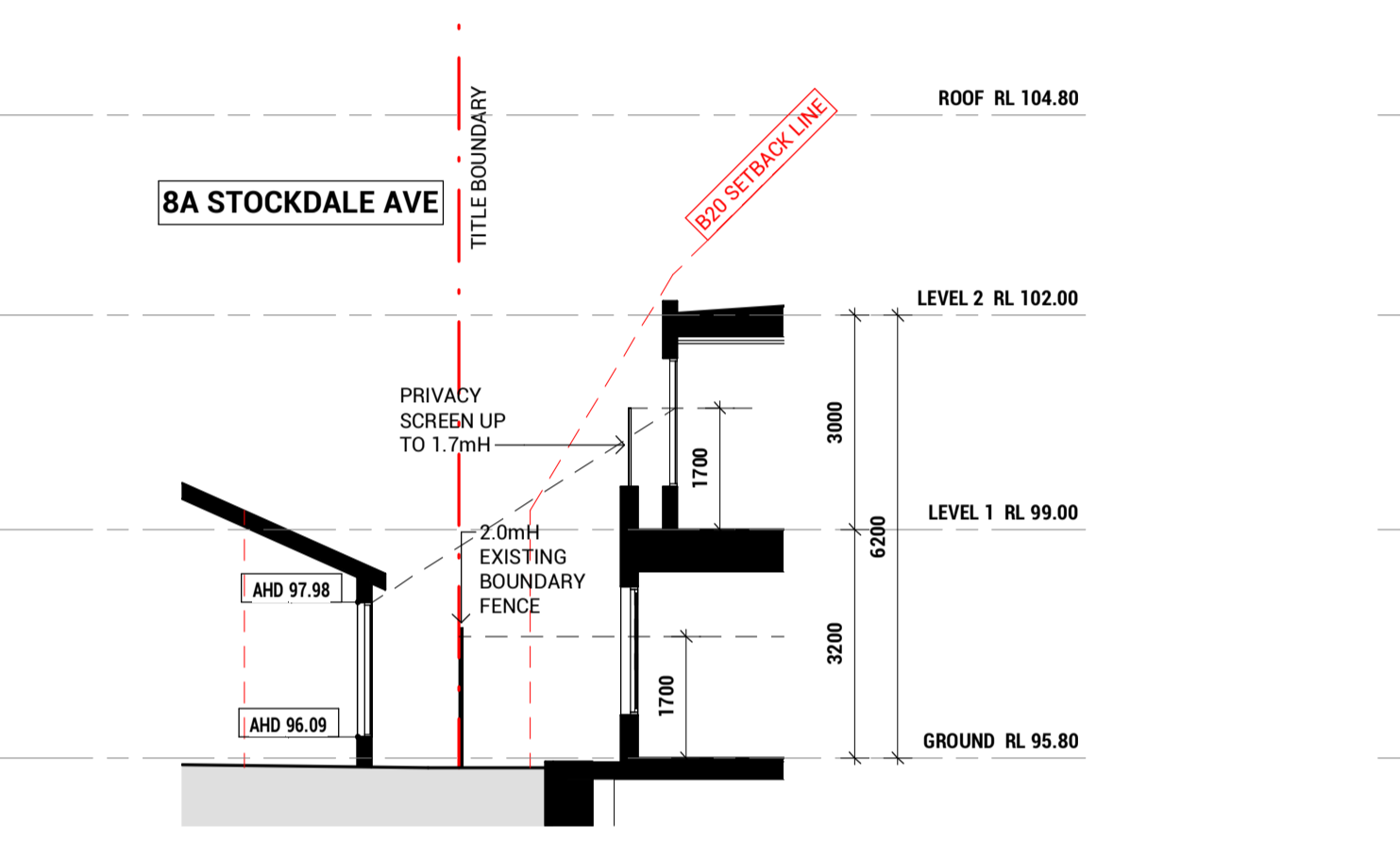
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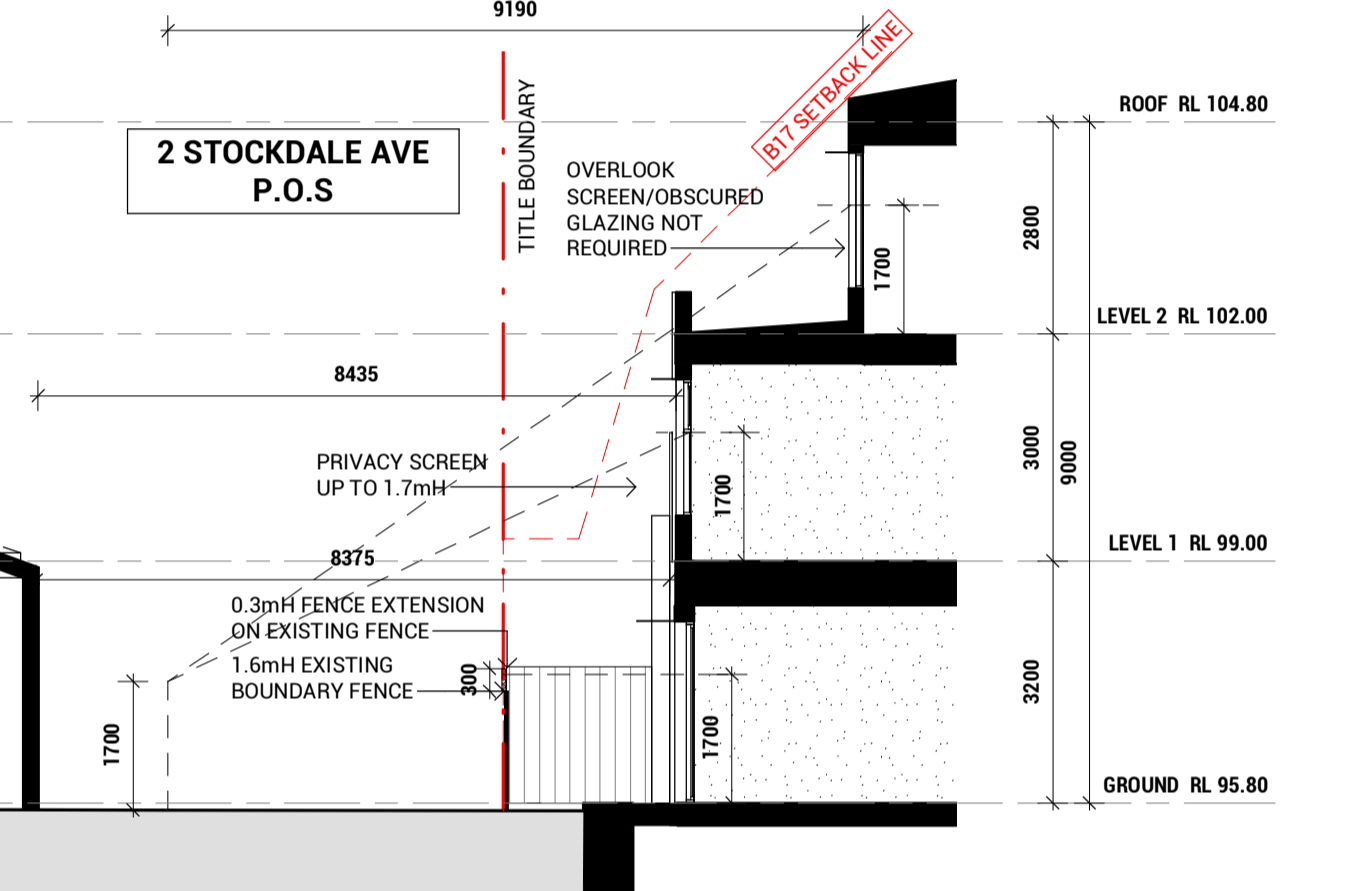
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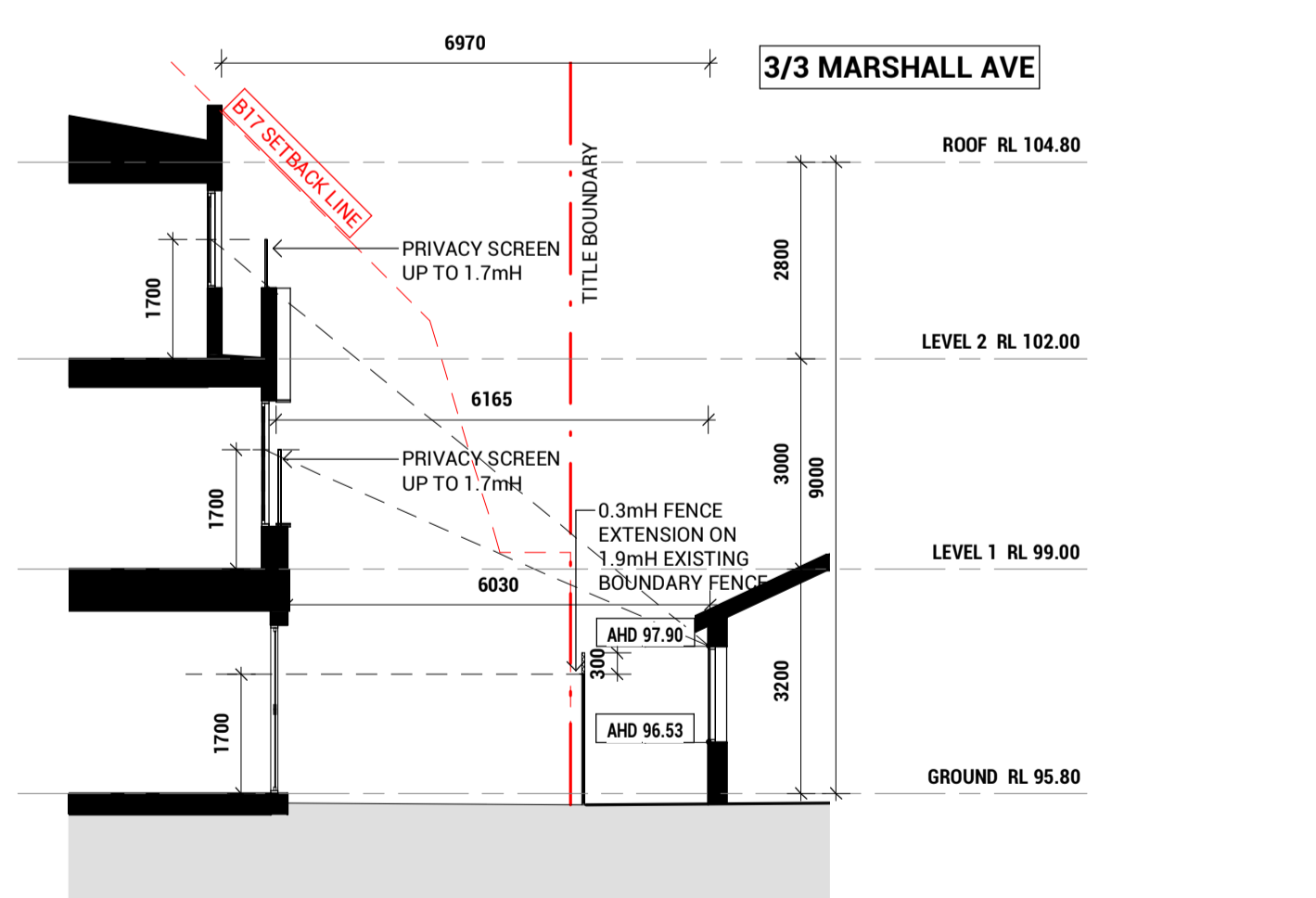
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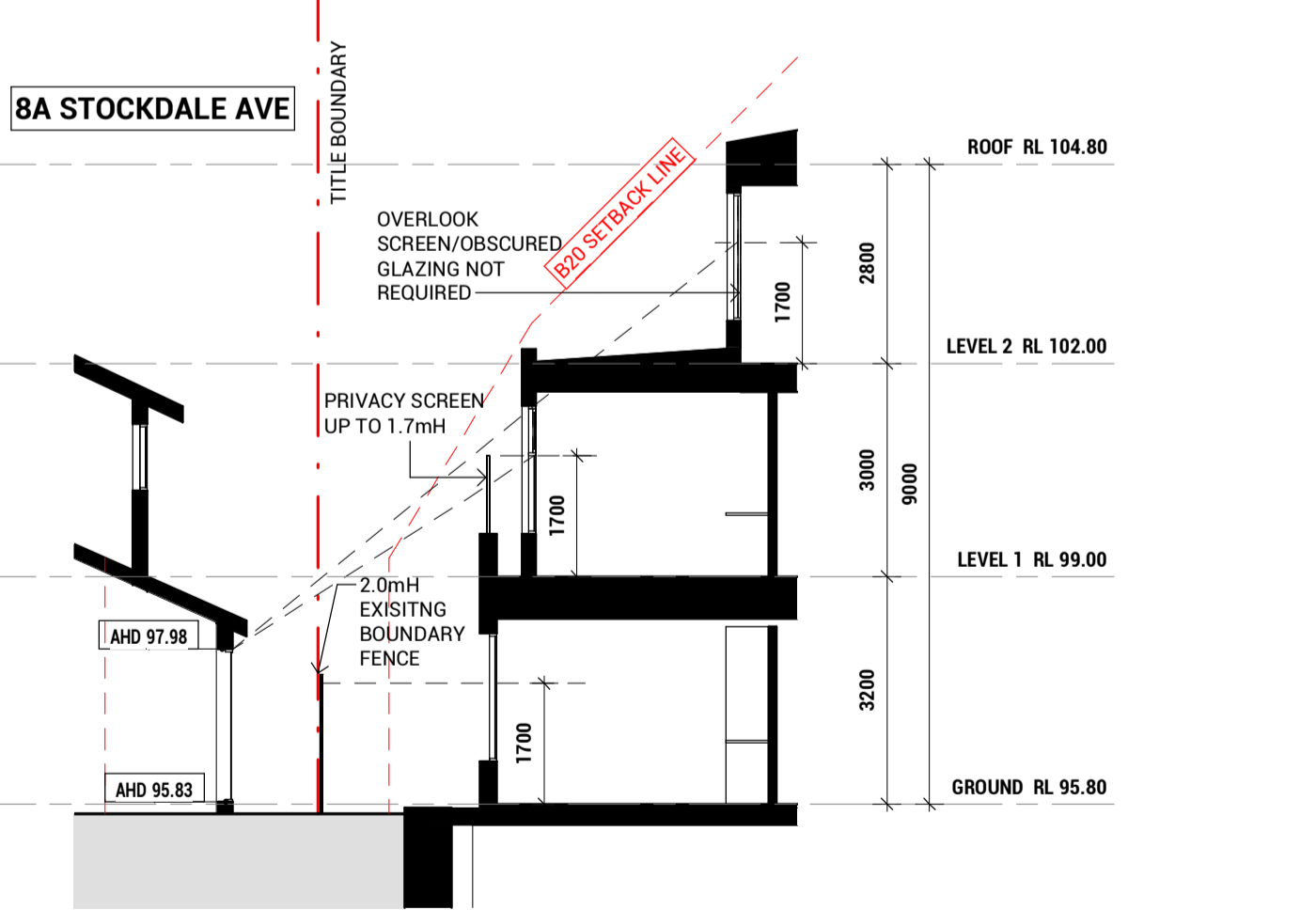
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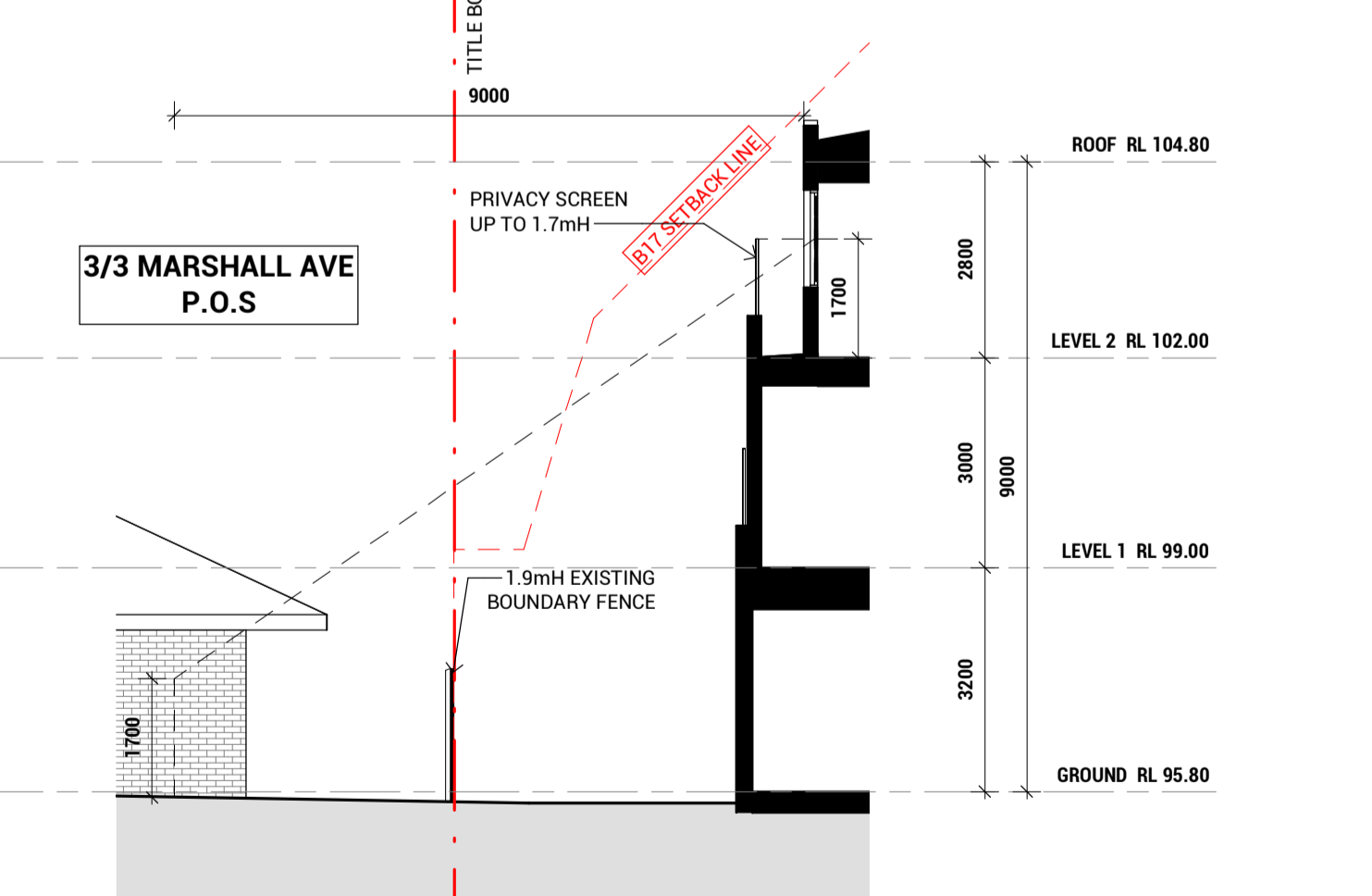
8 SECTION 8  
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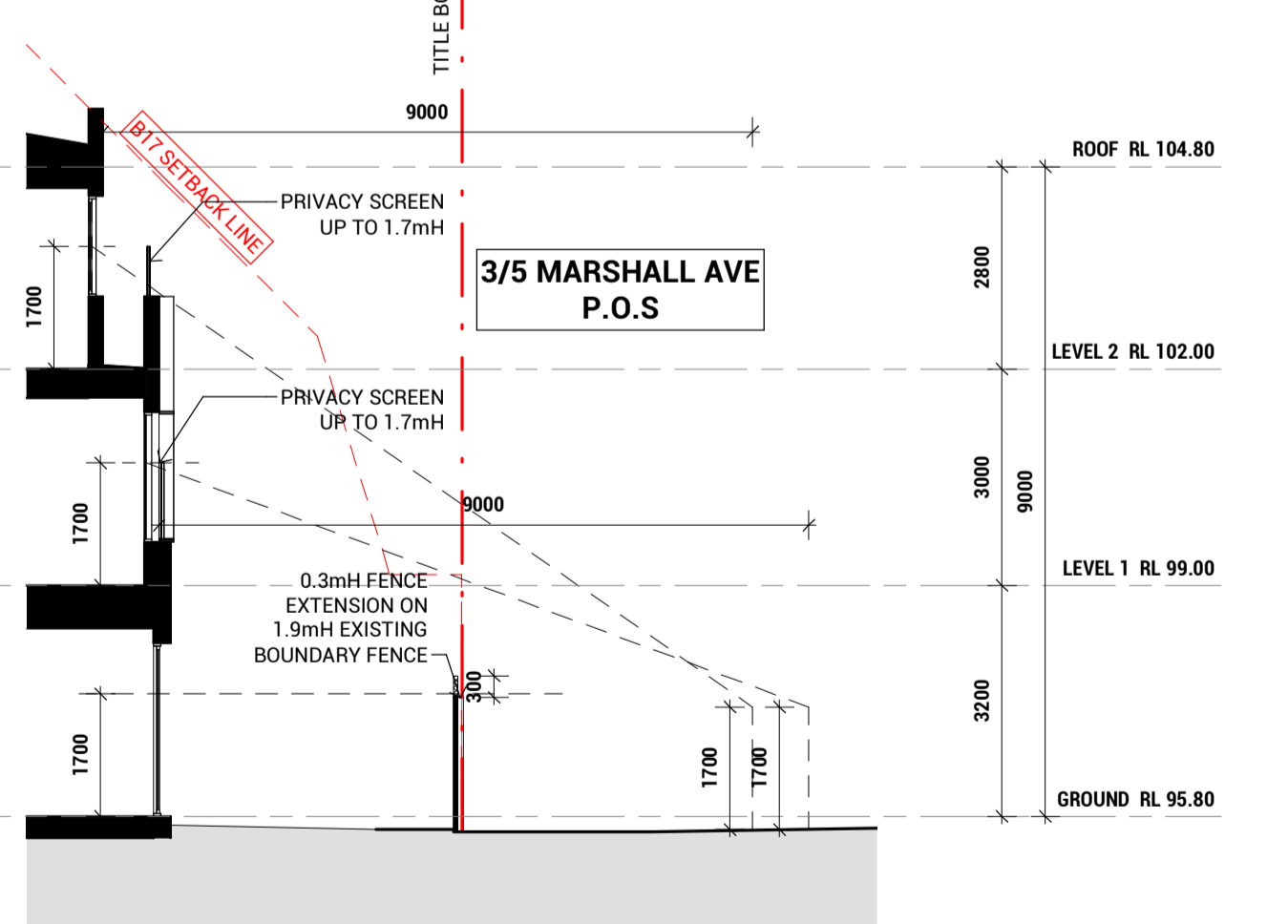
9 SECTION 9  
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10 SECTION 10  
SCALE 1 : 100



11 SECTION 11  
SCALE 1 : 100



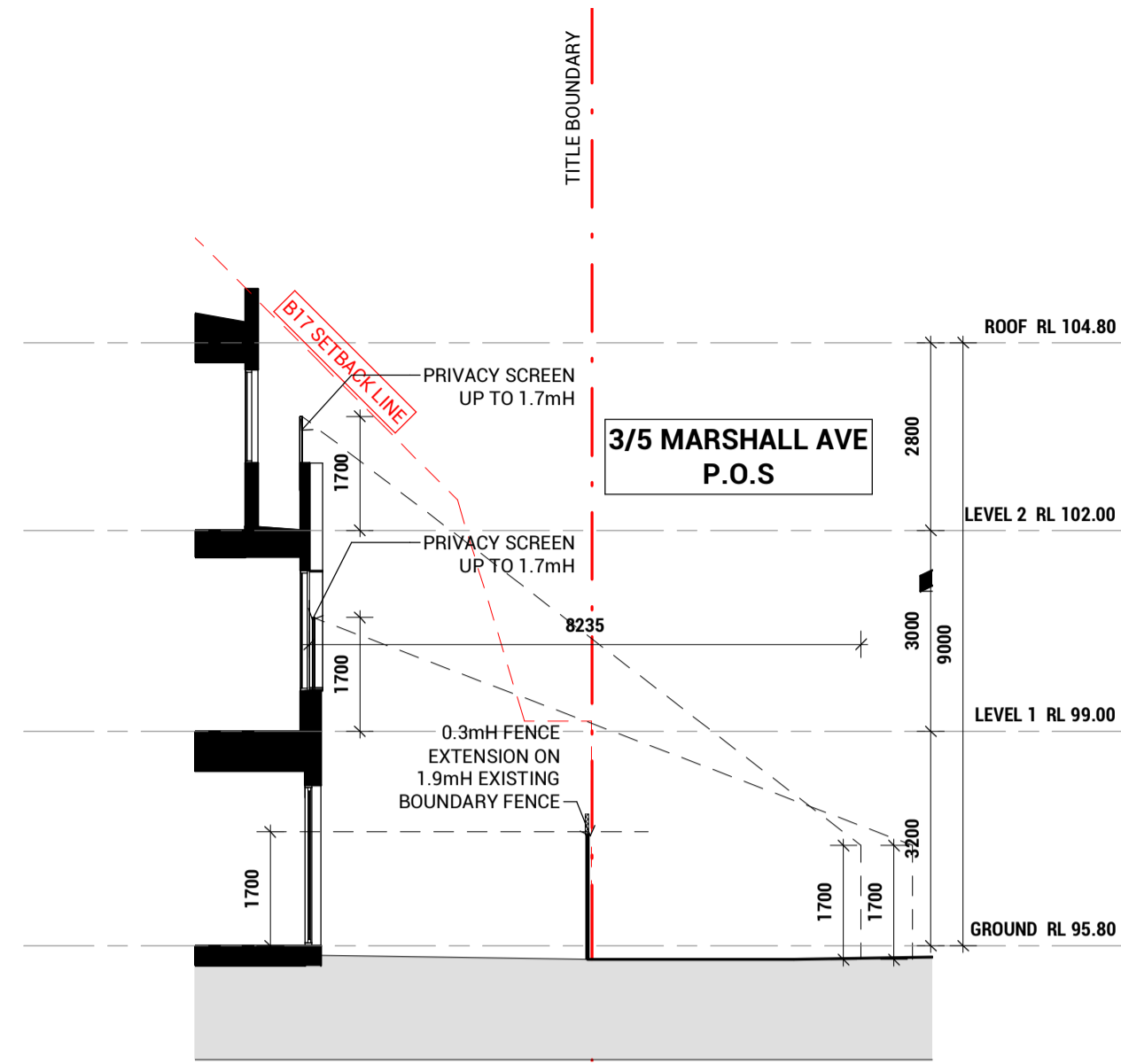
12 SECTION 12  
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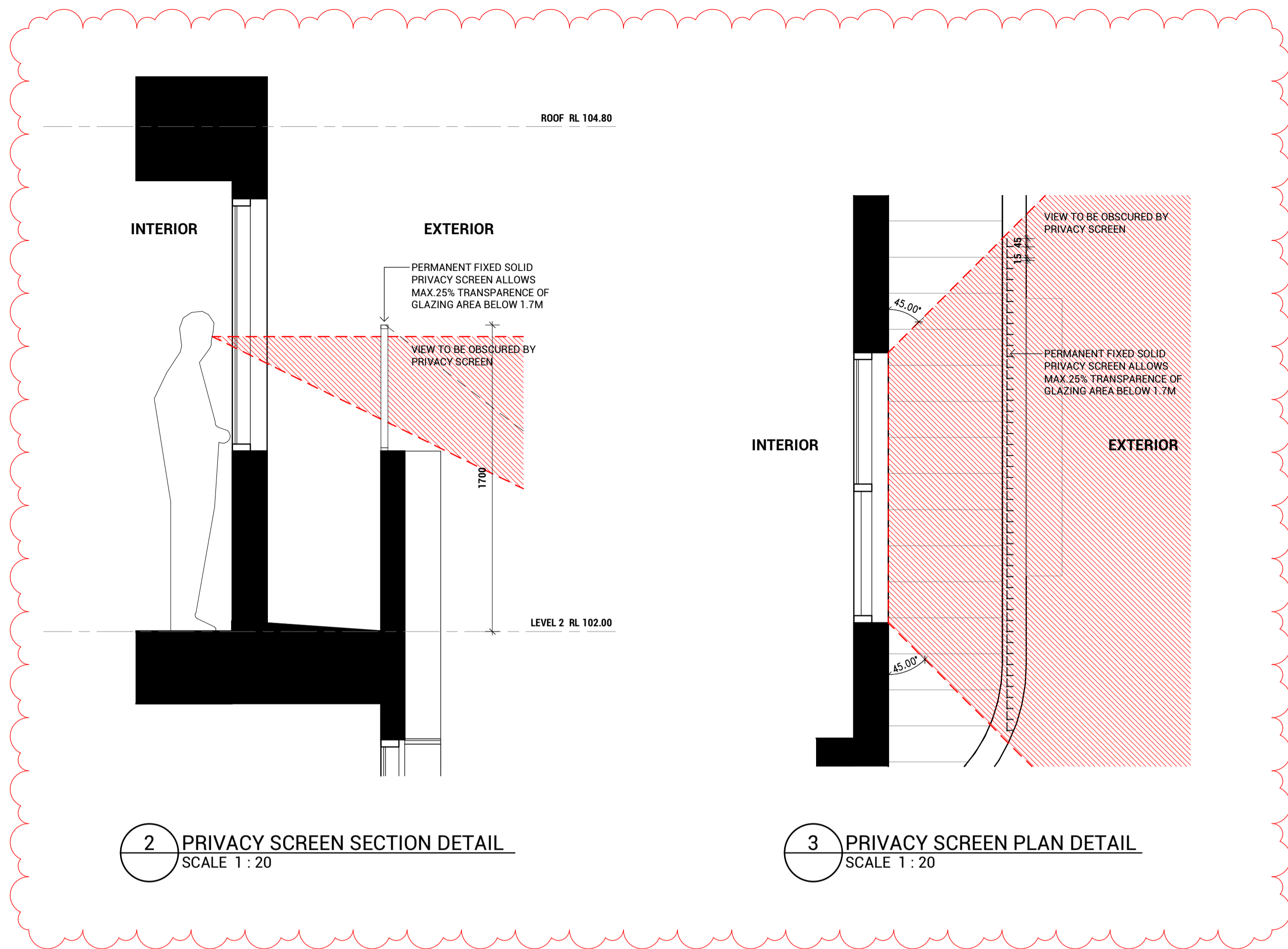
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1 SECTION 13  
 SCALE 1 : 100



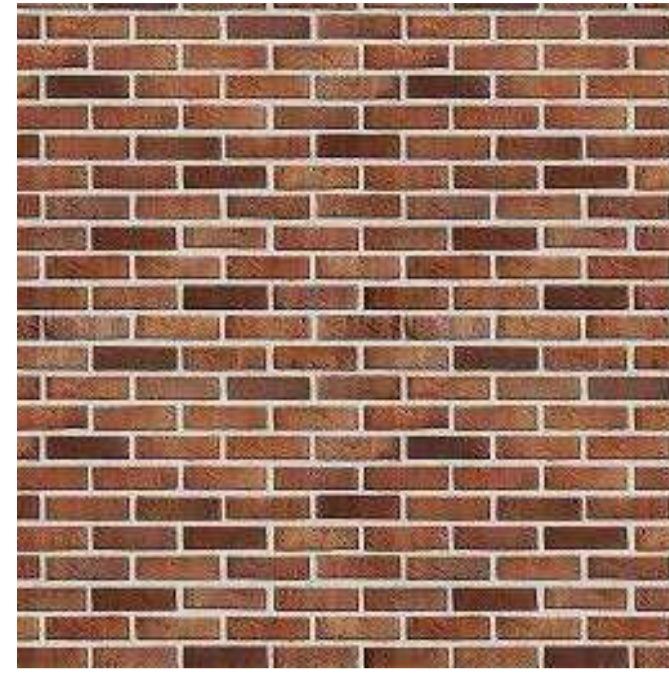
2 PRIVACY SCREEN SECTION DETAIL  
 SCALE 1 : 20

3 PRIVACY SCREEN PLAN DETAIL  
 SCALE 1 : 20

No.	Date	Notes	Issued By
-	20/03/23	ISSUED FOR TP	OC
A	20/06/25	For Information	OC
B	20/06/25	For Information	OC
C	20/06/25	ISSUED FOR TP RFI	OC



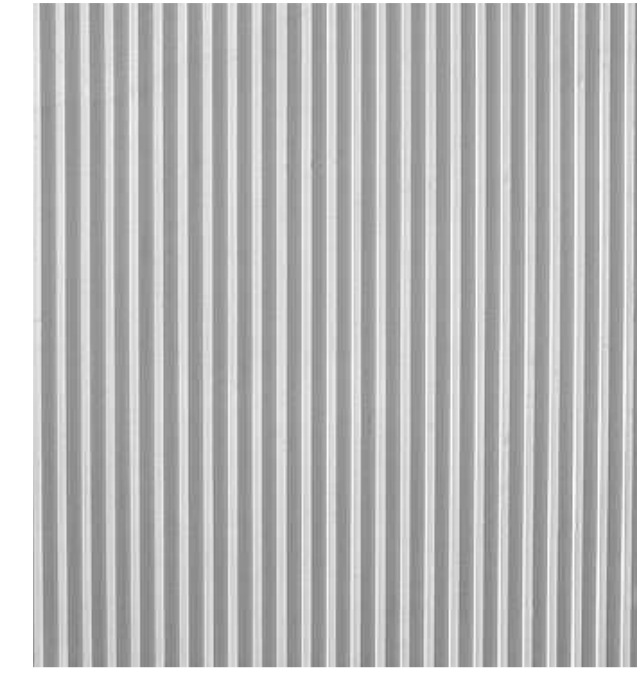
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BR01 BRICK



GL02 OBSCURED GLAZING



AP01 APPLIED FINISH - VERTICAL



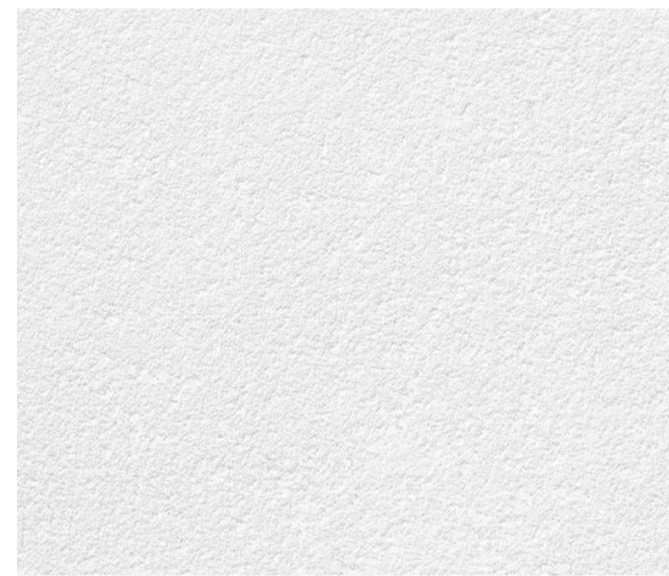
REN01 APPLIED RENDER FINISH - GREY



MT01 BALUSTRADE



RF02 METAL ROOF - DARK



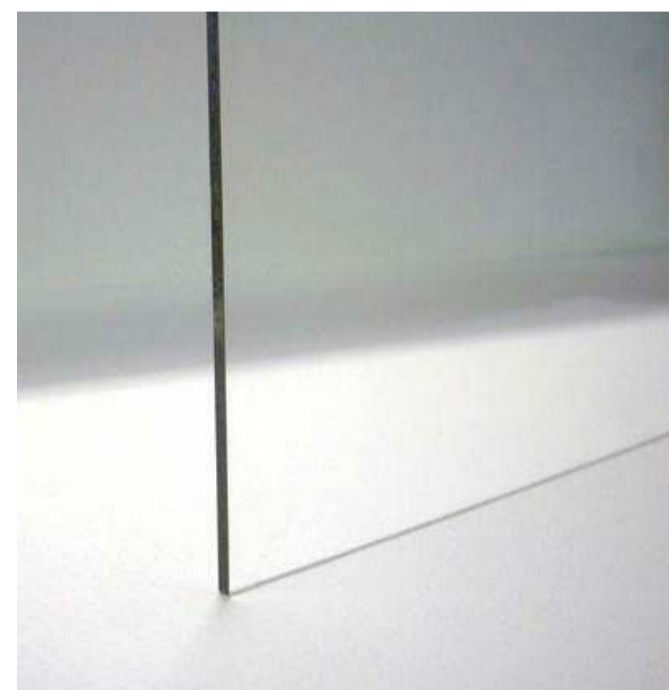
REN02 APPLIED RENDER FINISH - WHITE



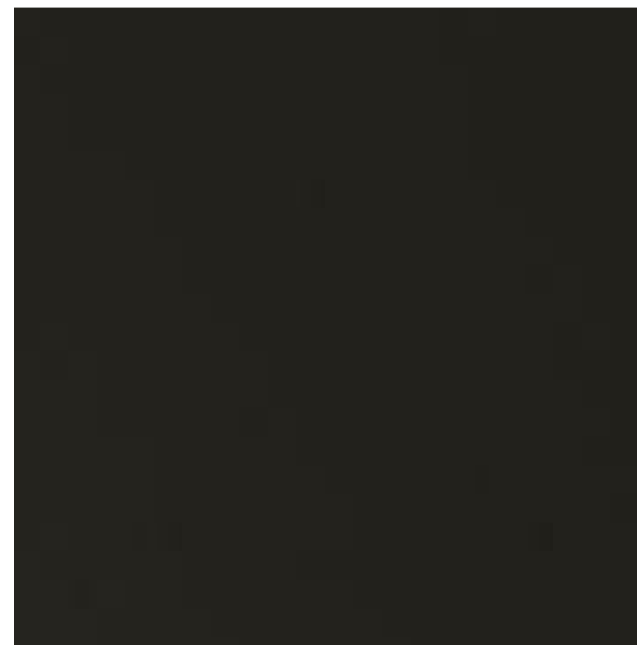
MT02 METAL SHEET CLADDING



TB01 TIMBER FENCE



GL01 CLEAR GLAZING



MT04 METAL FRAME - DARK GREY

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COMMON AREA\_BACK YARD



INTERNAL COURTYARD

Revision			Issued By
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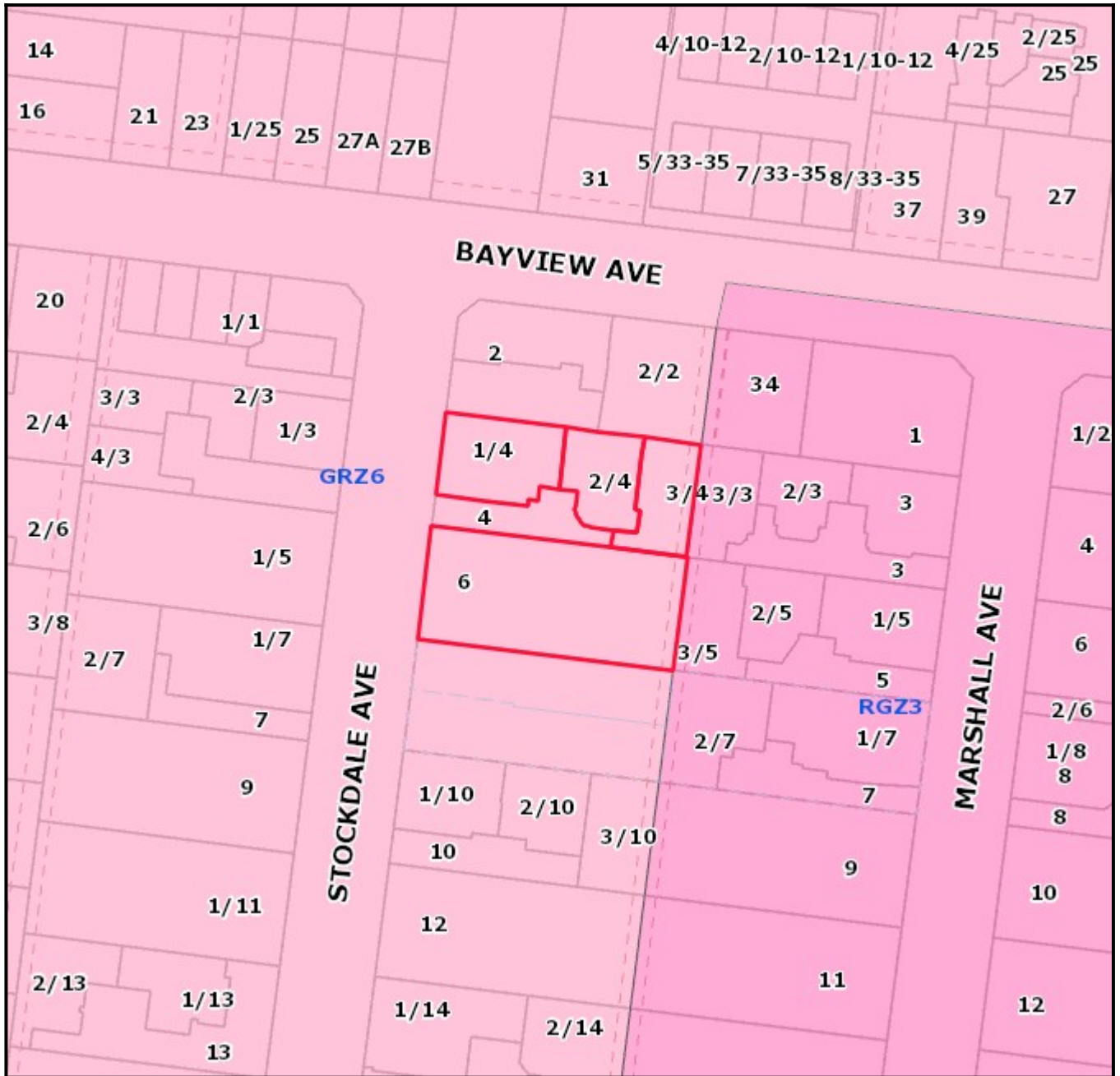
Attachment 2: 4-6 Stockdale Avenue, Clayton







# Planning Overlays and Zones



**Legend**

**Planning Zones**


**Planning Overlays**




1:1000

**Address**

4-6 Stockdale Avenue CLAYTON VIC 3168





# Objector Map

Subject land shaded light red. Objector properties shaded dark green and pinpointed.



1:1000



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### Legend

- |                   |                           |                                    |
|-------------------|---------------------------|------------------------------------|
| Property          | Open Space Public Access  | Social/ family recreation          |
| Proposed Property | Accessway/ trail          | Sport                              |
| Common Property   | Conservation              | Utility/ buffer/ enviro constraint |
| Easements         | Memorial Park             | Visual amenity                     |
| Raillines         | Play                      | Water based recreation             |
| Reserves          | Relaxation/ contemplation |                                    |

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