

# Architectural Town Planning Submission

The Glen Towers, 235 Springvale Rd, Glen Waverley

September 2017



**GOLDEN AGE**







Disclaimer: Perspective images are presented as an artist's impression of the development.  
Landscaping shown on perspective images is indicative only and is subject to Landscape Architect's design.





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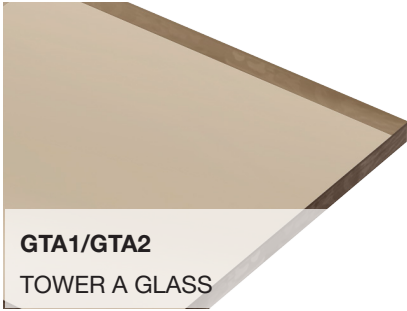
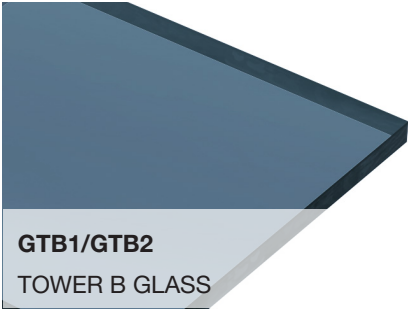
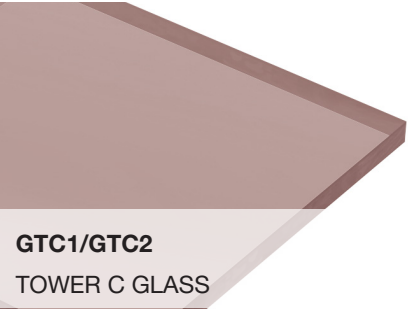


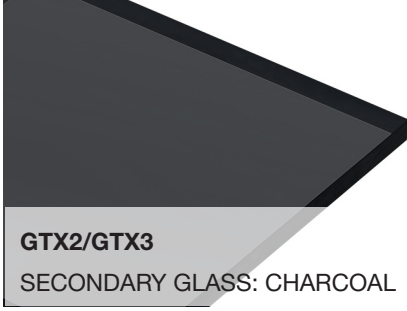
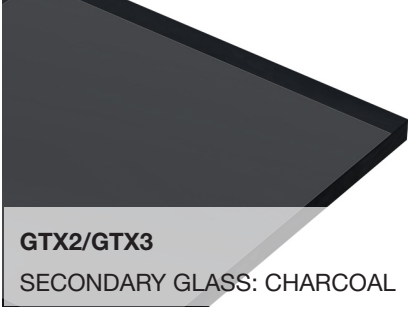
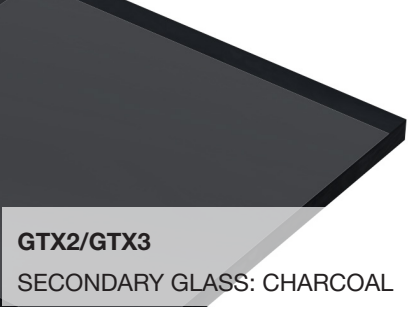
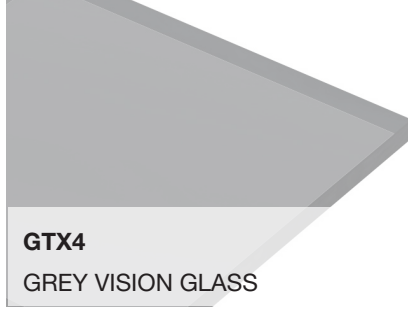
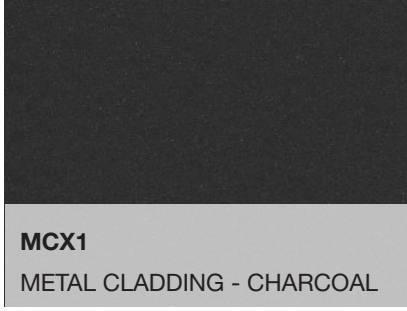
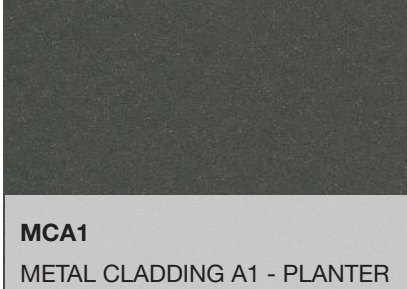
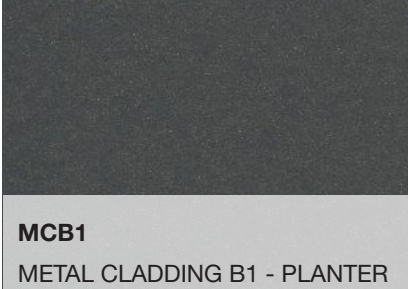
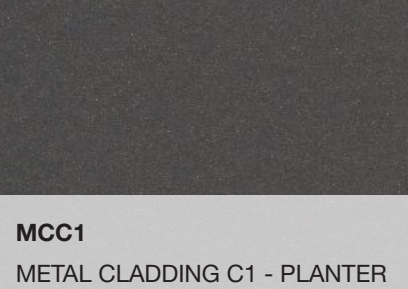
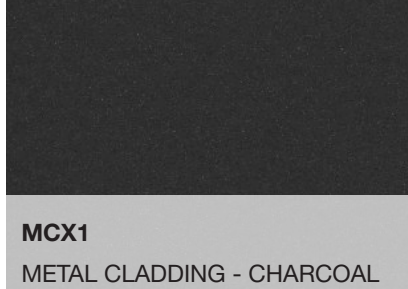
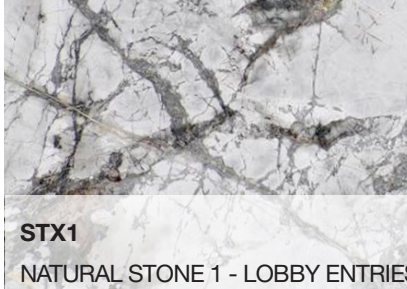
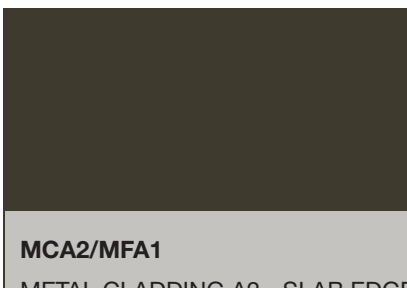
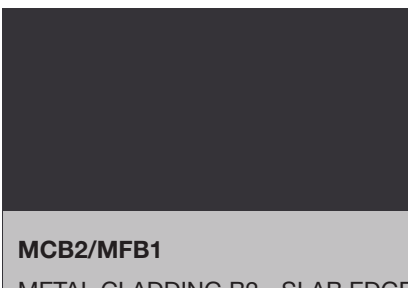
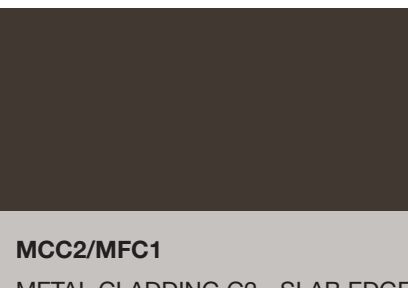
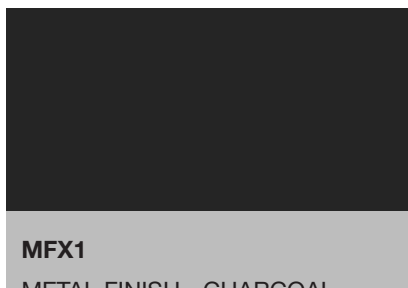
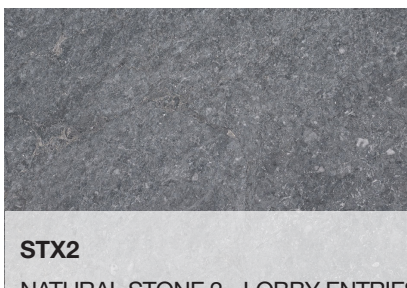
### 3.0 Materials / 3.01 Materials Palette

- AFX1:** APPLIED FINISH - DARK CHARCOAL
- GTA1:** VISION GLASS A1 - TOWER A
- GTA2:** SPANDREL GLASS A2 - TOWER A
- GTB1:** VISION GLASS B1 - TOWER B
- GTB2:** SPANDREL GLASS B2 - TOWER B
- GTC1:** VISION GLASS C1 - TOWER C
- GTC2:** SPANDREL GLASS C2 - TOWER C
- GTX1:** CLEAR VISION GLASS
- GTX2:** CHARCOAL VISION GLASS
- GTX3:** CHARCOAL SPANDREL GLASS

- GTX4:** GREY VISION GLASS
- MCA1:** METAL CLADDING A1 - TOWER A
- MCA2:** METAL CLADDING A2- TOWER A
- MCB1:** METAL CLADDING B1 - TOWER B
- MCB2:** METAL CLADDING B2 - TOWER B
- MCC1:** METAL CLADDING C1 - TOWER C
- MCC2:** METAL CLADDING C2 - TOWER C
- MCX1:** METAL CLADDING - DARK CHARCOAL
- MFA1:** METAL FINISH A1 - TOWER A
- MFB1:** METAL FINISH B1 - TOWER B

- MFC1:** METAL FINISH C1 - TOWER C
- MFX1:** METAL FINISH - DARK CHARCOAL
- STX1:** NATURAL STONE 1 - LOBBY ENTRIES
- STX2:** NATURAL STONE 2 - LOBBY ENTRIES

Palette is representative of proposed core materials only. Graphical representation is indicative only.

Tower A Palette	Tower B Palette	Tower C Palette	Residents' Amenity & Level 1, Level 1M Apartments Palette	Residential Lobbies Exterior Palette
 <p><b>GTA1/GTA2</b> TOWER A GLASS</p>	 <p><b>GTB1/GTB2</b> TOWER B GLASS</p>	 <p><b>GTC1/GTC2</b> TOWER C GLASS</p>	 <p><b>GTX1</b> CLEAR GLASS</p>	 <p><b>GTX1</b> CLEAR GLASS</p>
 <p><b>GTX2/GTX3</b> SECONDARY GLASS: CHARCOAL</p>	 <p><b>GTX2/GTX3</b> SECONDARY GLASS: CHARCOAL</p>	 <p><b>GTX2/GTX3</b> SECONDARY GLASS: CHARCOAL</p>	 <p><b>GTX4</b> GREY VISION GLASS</p>	 <p><b>MCX1</b> METAL CLADDING - CHARCOAL</p>
 <p><b>MCA1</b> METAL CLADDING A1 - PLANTER</p>	 <p><b>MCB1</b> METAL CLADDING B1 - PLANTER</p>	 <p><b>MCC1</b> METAL CLADDING C1 - PLANTER</p>	 <p><b>MCX1</b> METAL CLADDING - CHARCOAL</p>	 <p><b>STX1</b> NATURAL STONE 1 - LOBBY ENTRIES</p>
 <p><b>MCA2/MFA1</b> METAL CLADDING A2 - SLAB EDGE</p>	 <p><b>MCB2/MFB1</b> METAL CLADDING B2 - SLAB EDGE</p>	 <p><b>MCC2/MFC1</b> METAL CLADDING C2 - SLAB EDGE</p>	 <p><b>MFX1</b> METAL FINISH - CHARCOAL</p>	 <p><b>STX2</b> NATURAL STONE 2 - LOBBY ENTRIES</p>



## 4.0 Communal Areas / Communal Amenities

### Communal Amenities

In addition to the extensive public amenities provided by The Glen shopping centre below, the proposed development features over 1000m<sup>2</sup> of residential amenities, including:

- Double-storey gym with panoramic views towards the Dandenong Ranges
- Pool and sauna area, with 25 metre lap pool and spa
- TV/entertainment room
- Bar & mahjong rooms
- Bookable dining/function rooms
- Communal lounge and gathering spaces

### Communal Outdoor Space

In line with planning permit condition 1n), the proposed development features a substantial rooftop communal open space, programmed and landscaped to provide for a range of recreation spaces, including:

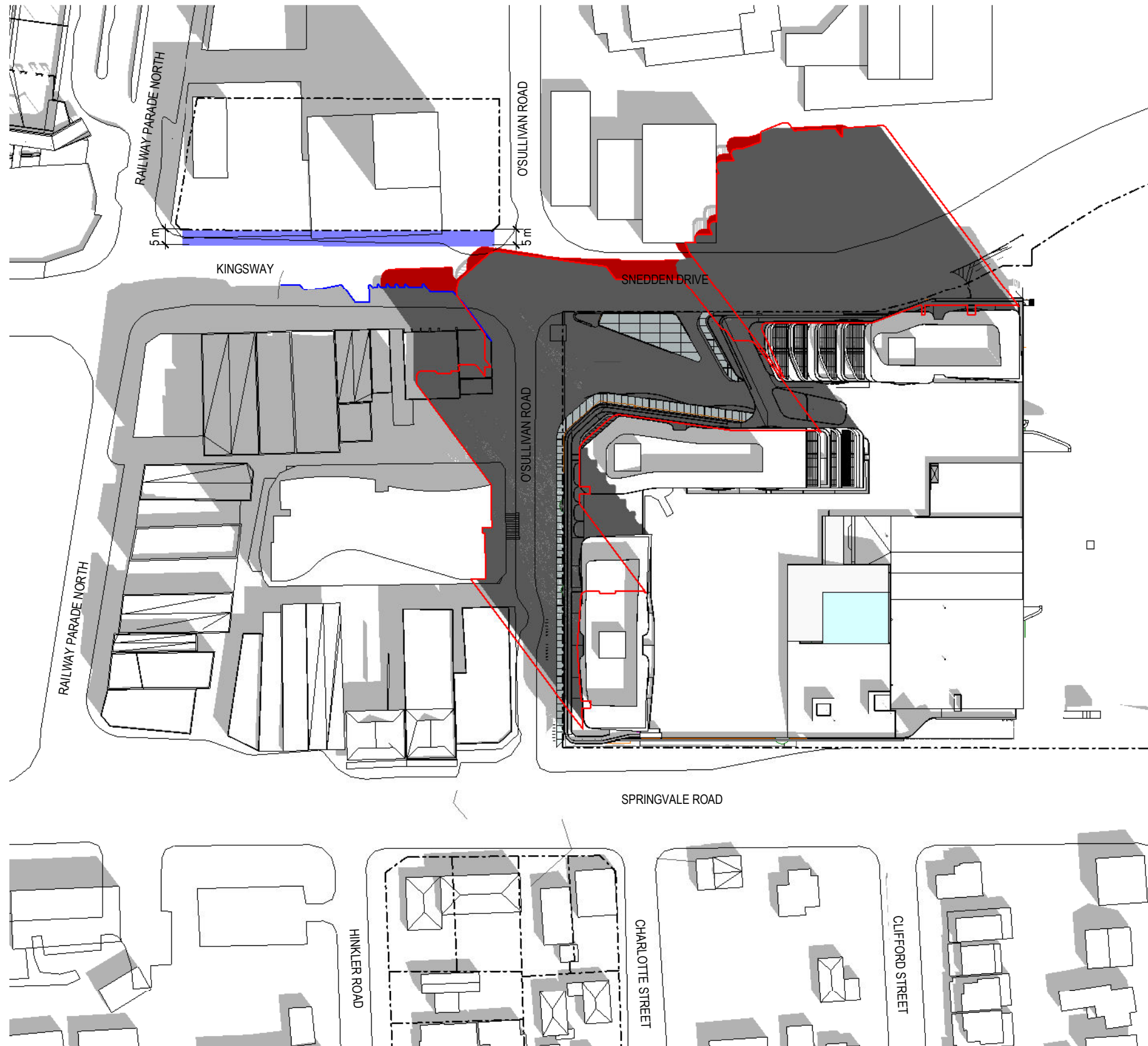
- Barbecue areas and outdoor dining space
- Children's play areas
- Open lawns
- Kitchen garden plots
- Intimate outdoor spaces







### THE GLEN - INTERNAL AMENITY PROVISION

AMENITY	INTERNAL AREA m <sup>2</sup>	ADJACENT TERRACE AREA m <sup>2</sup>
<b>LEVEL 1</b>		
GYM	114	
<b>LEVEL 1 MEZZ</b>		
GYM	106	
POOL LOUNGE	144	
PLUNGE POOL	45	
LAP POOL	87.5	
SPA	14	
SAUNA	16	
TREATMENT ROOM	34	
M&F TOILETS / CHANGE ROOM	53	
<b>LEVEL 2</b>		
GARDEN LOUNGE	118	
BAR (MAHJONG/GAMES)	76	31
LOUNGE 1	40	21
LOUNGE 2	40	23
LOUNGE 3	25	
ENTERTAINMENT ROOM	37	20
M&F TOILETS	56	
LOUNGE (TOWER C)	48	
<b>TOTAL (INTERNAL)</b>	<b>1054</b>	
<b>AVERAGE (555 APT) - INTERNAL</b>	<b>1.90</b>	



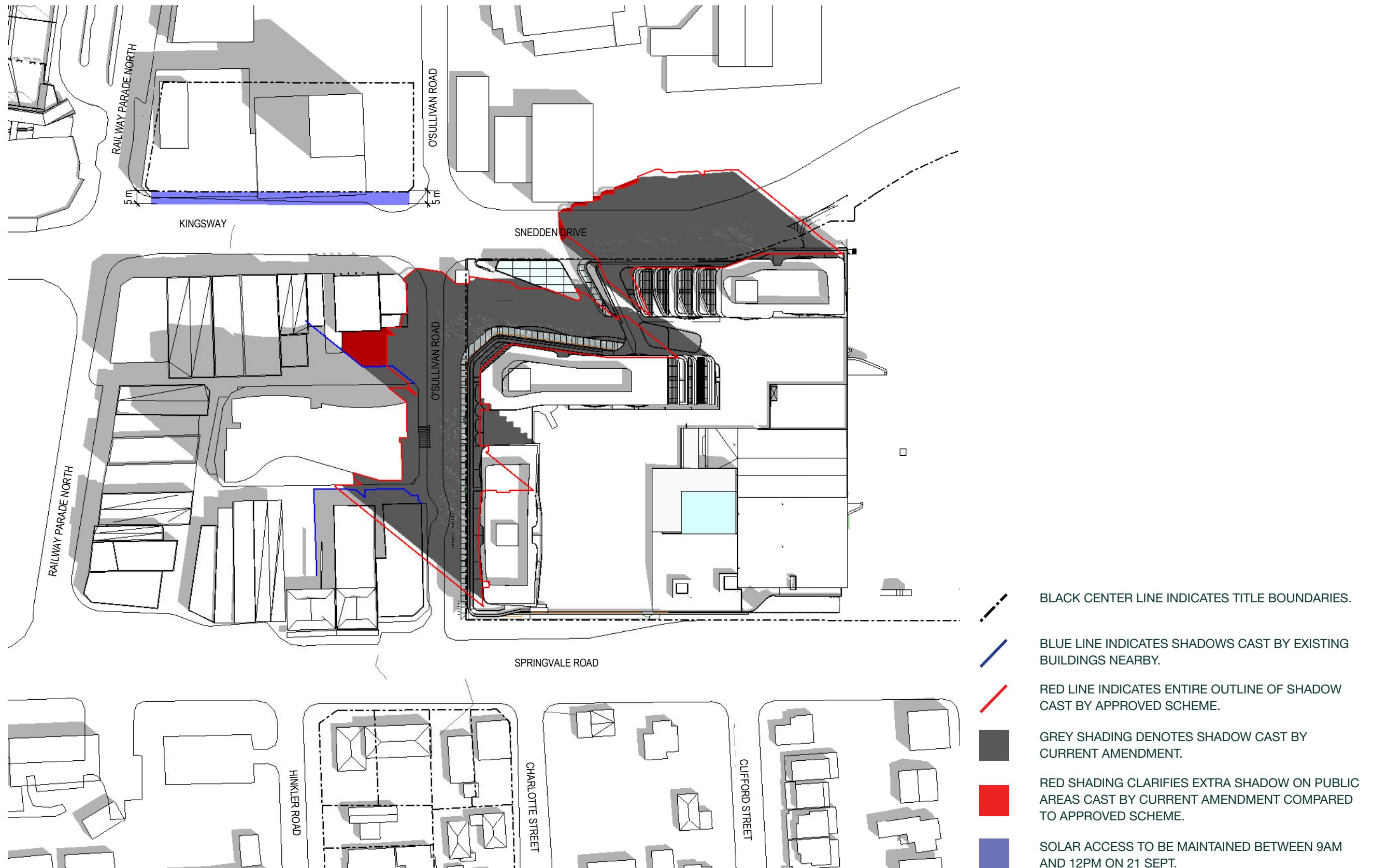
# Shadow Analysis - 9AM September 21st (Equinox)



-  BLACK CENTER LINE INDICATES TITLE BOUNDARIES.
-  BLUE LINE INDICATES SHADOWS CAST BY EXISTING BUILDINGS NEARBY.
-  RED LINE INDICATES ENTIRE OUTLINE OF SHADOW CAST BY APPROVED SCHEME.
-  GREY SHADING DENOTES SHADOW CAST BY CURRENT AMENDMENT.
-  RED SHADING CLARIFIES EXTRA SHADOW ON PUBLIC AREAS CAST BY CURRENT AMENDMENT COMPARED TO APPROVED SCHEME.
-  SOLAR ACCESS TO BE MAINTAINED BETWEEN 9AM AND 12PM ON 21 SEPT.

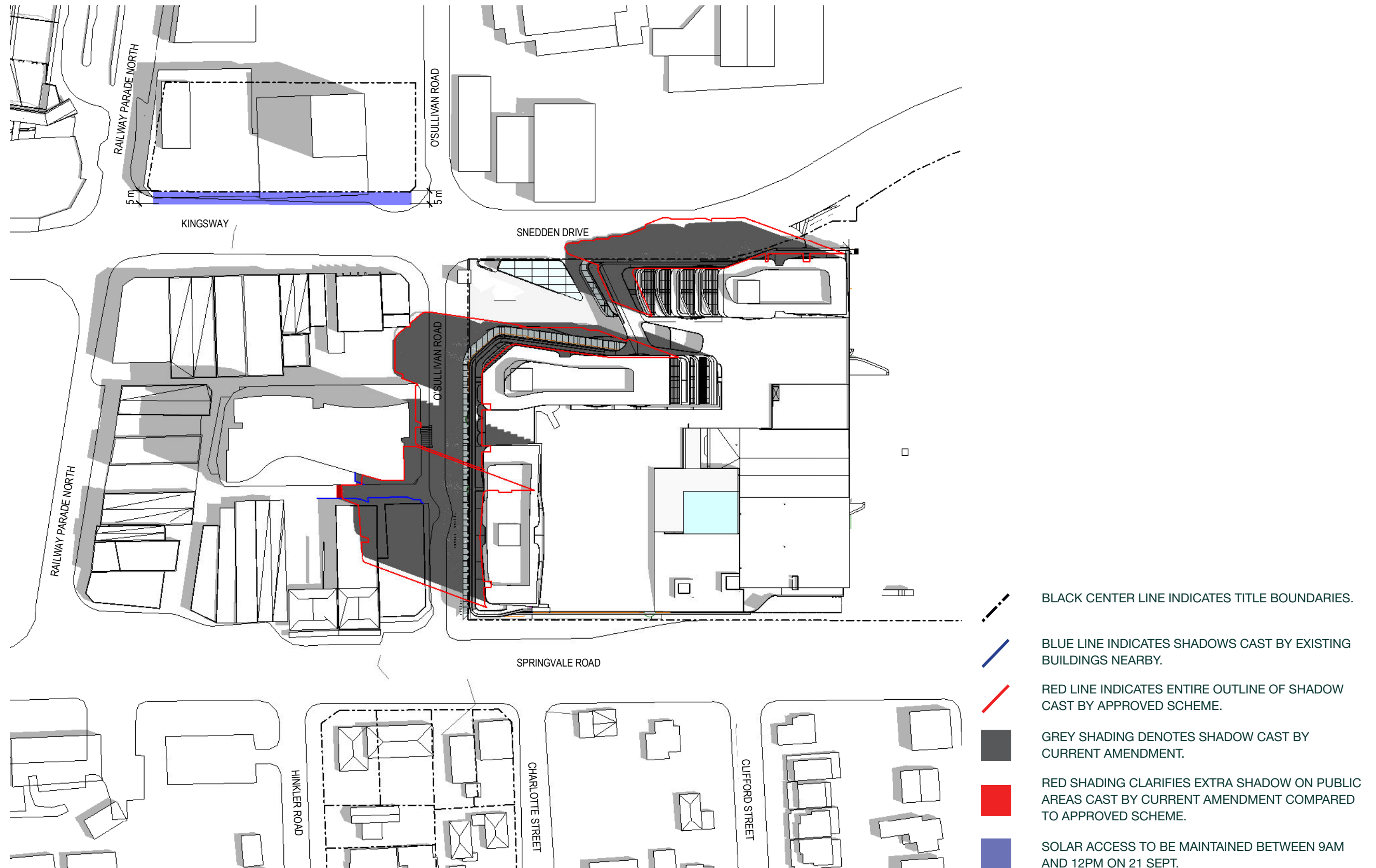


# Shadow Analysis - 10AM September 21st (Equinox)



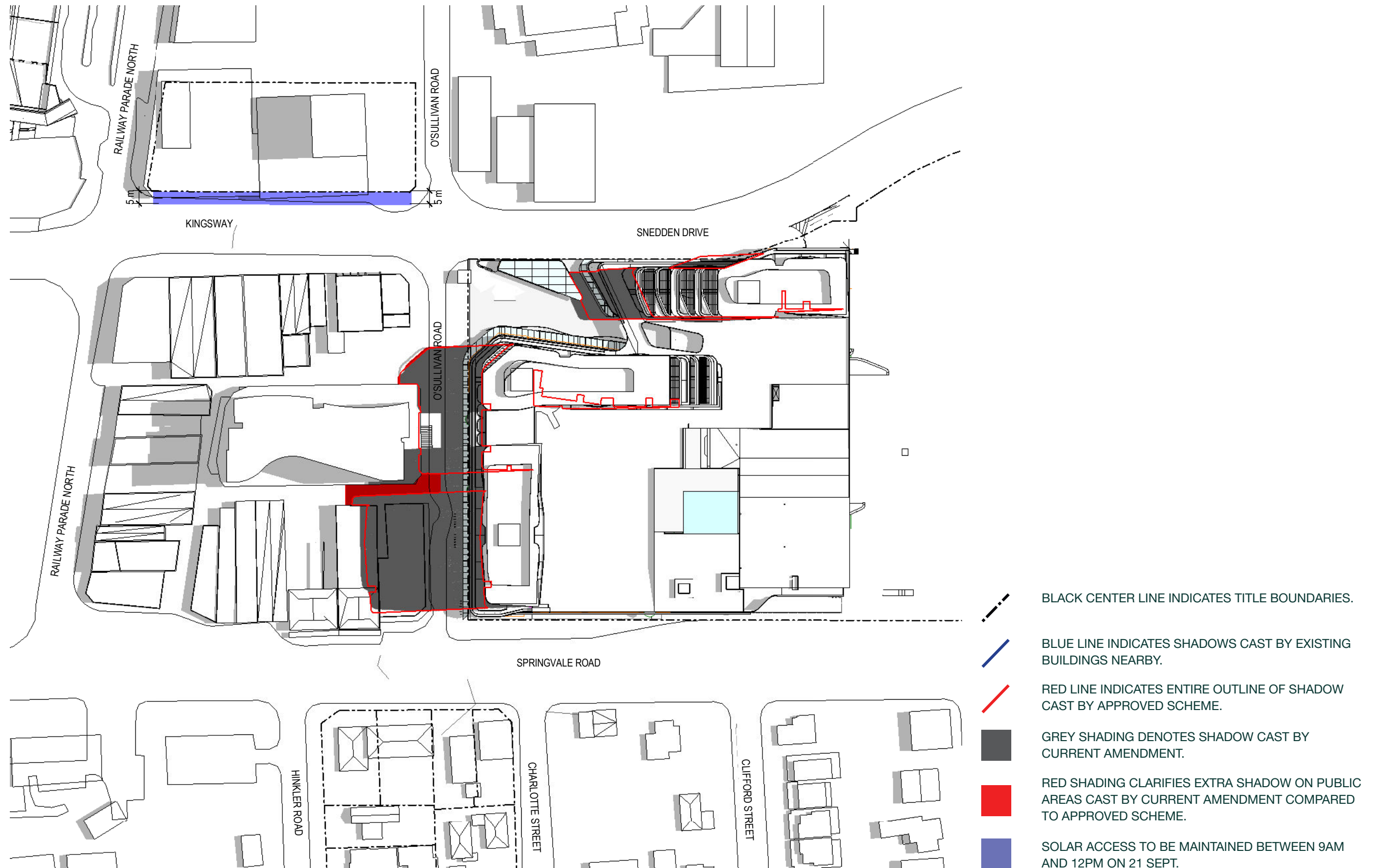


# Shadow Analysis - 11AM September 21st (Equinox)



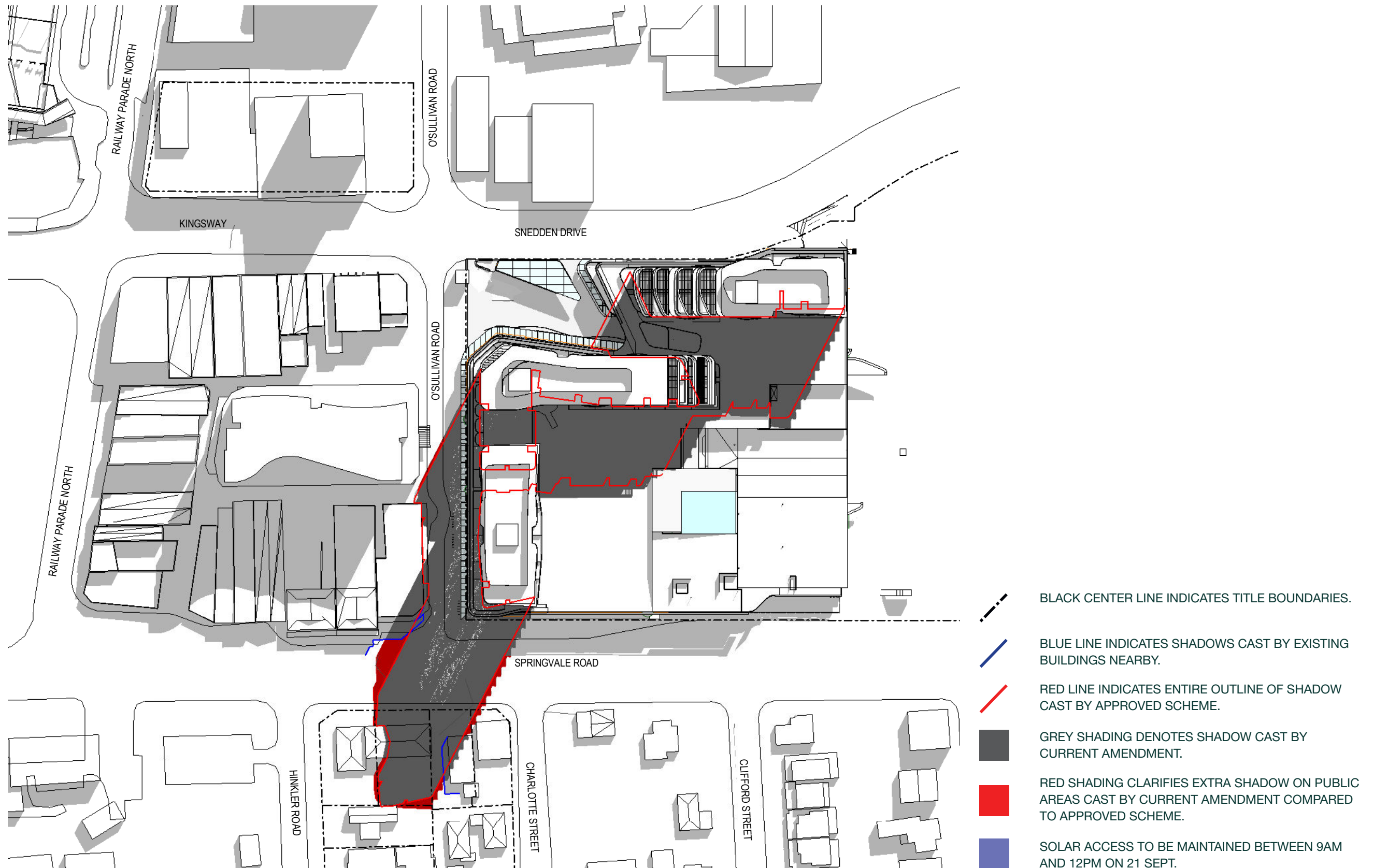


# Shadow Analysis - 12PM September 21st (Equinox)





# Shadow Analysis - 3PM September 21st (Equinox)





## 5.0 Drawings

### 5.01 Drawing List

Development Summary	TP 00.01	Level 14-18 Plan	TP 01.24
Site Plan	TP 00.02	Roof Plan	TP 01.25
Basement Plan - West	TP 01.01	Site Elevations	TP 02.01
Basement Plan - East	TP 01.02	Building A North Elevation	TP 02.02
Lower Ground Plan	TP 01.03	Building A South Elevation	TP 02.03
Ground Floor Plan	TP 01.05	Building A East & West Elevations	TP 02.04
Level 1 Plan	TP 01.06	Building B North & South Elevations	TP 02.05
Level 1 Mezzanine Plan	TP01.07	Building B East Elevation	TP 02.06
Level 2 Plan	TP01.08	Building B West Elevation	TP 02.07
Level 3-6 Plan	TP 01.09	Building C North & South Elevations	TP 02.08
Level 7 Plan	TP 01.13	Building C East Elevation	TP 02.09
Level 8 Plan	TP 01.14	Building C West Elevation	TP 02.10
Level 9 Plan	TP 01.15	Section A - Building A Lobby	TP 03.01
Level 10 Plan	TP 01.16	Section B - Building B Lobby	TP 03.02
Level 11 Plan	TP 01.17	Section C - Building C Lobby	TP 03.03
Level 12-13 Plan	TP 01.18		



27/09/2017

Thomas Thieu  
Golden Age Glen Pty Ltd  
In C/O Time & Place Property Pty Ltd  
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Melbourne, VIC 3000

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[rothelowman.com.au](http://rothelowman.com.au)

Dear Thomas,

**Re: STATEMENT OF CHANGES FOR AMENDMENT TO PLANNING  
PERMIT TPA/43692/B AT 235 SPRINGVALE ROAD, GLEN WAVERLEY,  
MELBOURNE, VICTORIA 3000**

We hereby submit a planning amendment for permit number TPA/43692/B for the residential portion of the project at 235 Springvale Road, Glen Waverley.

**Principal Changes**

- Residential tower scheme updated including internal amenity
- Piling line updated
- Residential tower cores relocated and updated to egress requirements

**Basement 1**

- Ramp to basement 1 relocated
- Bike stores relocated to Lower Ground
- Carparking layout revised
- Mechanical ventilation plenums reduced

**Lower Ground**

- Bike stores centralised near tower C core with direct access from drive way
- Substation, switch room and communications cupboards co-ordinated with residential and services requirements
- Bin rooms, storerooms and loading docks to each tower co-ordinated with revised cores
- Ramp adjacent to tower B core added

Principals  
Shane Rothe, Kim Lowman  
Nigel Hobart, Stuart Marsland  
Chris Hayton, Jeff Brown  
Ben Pomroy, Michael Banak

Rothe Lowman Property Pty Ltd  
ABN 76 005 783 997



### **Lower Ground Mezzanine**

- Mechanical and fire services co-ordinated with core relocation
- Tower C lobby reconfigured to co-ordinate with core relocation

### **Ground Floor**

- Towers A & B lobbies reconfigured to co-ordinate with core relocation

### **Level 1 & L1M**

- Updated apartment layouts
- Corridor increased to min. 1600 clear width throughout
- Communal facilities added
- Updated storage rooms

### **Level 2**

- Updated building envelope
- Updated apartment layouts
- Corridor increased to 1600 typically narrowing to min. 1250mm locally at columns
- Communal facilities added
- Open communal space updated

### **Level 3 – 18**

- Updated building envelope
- Updated apartment layouts
- Corridor increased to 1600 typically narrowing to min. 1250mm locally at columns.

### **Level 10**

- Rooftop communal landscaping removed

### **Rooftops**

- Plant screens updated

### **Elevations**

- Overall façade height in Tower A is taller than height specified in Condition 1a. (RL 179.9)
- Overall façade height in Tower B is taller than height specified in Condition 1b. (RL 155.9)



- Overall façade height in Tower C is taller than height specified in Condition 1c. (RL 158.9)

### **Development Schedule**

- Areas and apartment numbers updated

Yours Sincerely,

Monika Diradji  
Project Leader



## RESIDENTIAL DWELLING SCHEDULE

	PODIUM			BUILDING A			BUILDING B			BUILDING C			TOTAL			
	1 Bed	2 Bed	3 Bed	1 Bed	2 Bed	3 Bed	1 Bed	2 Bed	3 Bed	1 Bed	2 Bed	3 Bed	1 Bed	2 Bed	3 Bed	Totals
LEVEL 1	0	8	0										0	8	0	8
LEVEL 1 MEZZ	0	8	0										0	8	0	8
LEVEL 2 RESIDENTIAL				6	8	0	4	12	0	3	12	0	13	32	0	45
LEVEL 3				5	9	0	4	16	0	2	15	0	11	40	0	51
LEVEL 4				5	9	0	4	16	0	2	15	0	11	40	0	51
LEVEL 5				5	9	0	4	16	0	2	15	0	11	40	0	51
LEVEL 6				5	9	0	4	16	0	2	11	3	11	36	3	50
LEVEL 7				5	9	0	4	12	2	2	7	5	11	28	7	46
LEVEL 8				5	9	0	6	10	2	2	6	5	13	25	7	45
LEVEL 9				5	9	0	0	8	5	0	6	5	5	23	10	38
LEVEL 10				5	9	0				0	4	5	5	13	5	23
LEVEL 11				5	9	0							5	9	0	14
LEVEL 12				5	9	0							5	9	0	14
LEVEL 13				3	4	5							3	4	5	12
LEVEL 14				3	4	5							3	4	5	12
LEVEL 15				3	4	5							3	4	5	12
LEVEL 16				3	4	5							3	4	5	12
LEVEL 17				3	4	5							3	4	5	12
LEVEL 18				3	4	5							3	4	5	12
<b>TOTAL</b>	<b>0</b>	<b>16</b>	<b>0</b>	<b>76</b>	<b>127</b>	<b>25</b>	<b>34</b>	<b>122</b>	<b>9</b>	<b>17</b>	<b>106</b>	<b>23</b>	<b>127</b>	<b>371</b>	<b>57</b>	<b>555</b>
MIX PERCENTAGE													22.9%	66.9%	10.3%	100%

10.2% 3 BEDROOM APARTMENTS OF OVERALL DWELLING MAKEUP TO COMPLY WITH CONDITION 1. g)

### RESIDENTIAL PARKING REQUIRED

	NO. APARTMENTS	NO. REQUIRED	TOTAL CARPARKS
1 BEDROOM	127	1 CAR / APT	127
2 BEDROOM	371	1 CAR / APT	371
3 BEDROOM	57	2 CARS / APT	114
VISITORS	555	20% OF TOTAL APTS	111
<b>TOTAL</b>			<b>723</b>

### RESIDENTIAL PARKING PROVIDED

RESIDENTIAL PARKING (B1)	612
RESIDENTIAL VISITORS	111
<b>TOTAL CARPARK</b>	<b>725</b>

### RESIDENTIAL BIKE PARKING REQUIRED

	RESIDENTS	VISITORS
	555 APARTMENTS	
RATE	1 PER 5 APTS	1 PER 10 APTS
<b>TOTAL REQ.</b>	<b>111 SPACES</b>	<b>56 SPACES</b>

### RESIDENTIAL BIKE PARKING PROVIDED

LEVEL	RESIDENTS	VISITORS
LOWER GROUND	111	
GROUND		56
<b>TOTAL PROVIDED</b>	<b>111 SPACES</b>	<b>56 SPACES</b>

## PERMIT ISSUE

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **DEVELOPMENT SUMMARY**

Project No / **217059** Date / **27/09/17**

Author / **JR**

Scale: @ A1 / **1 : 25**

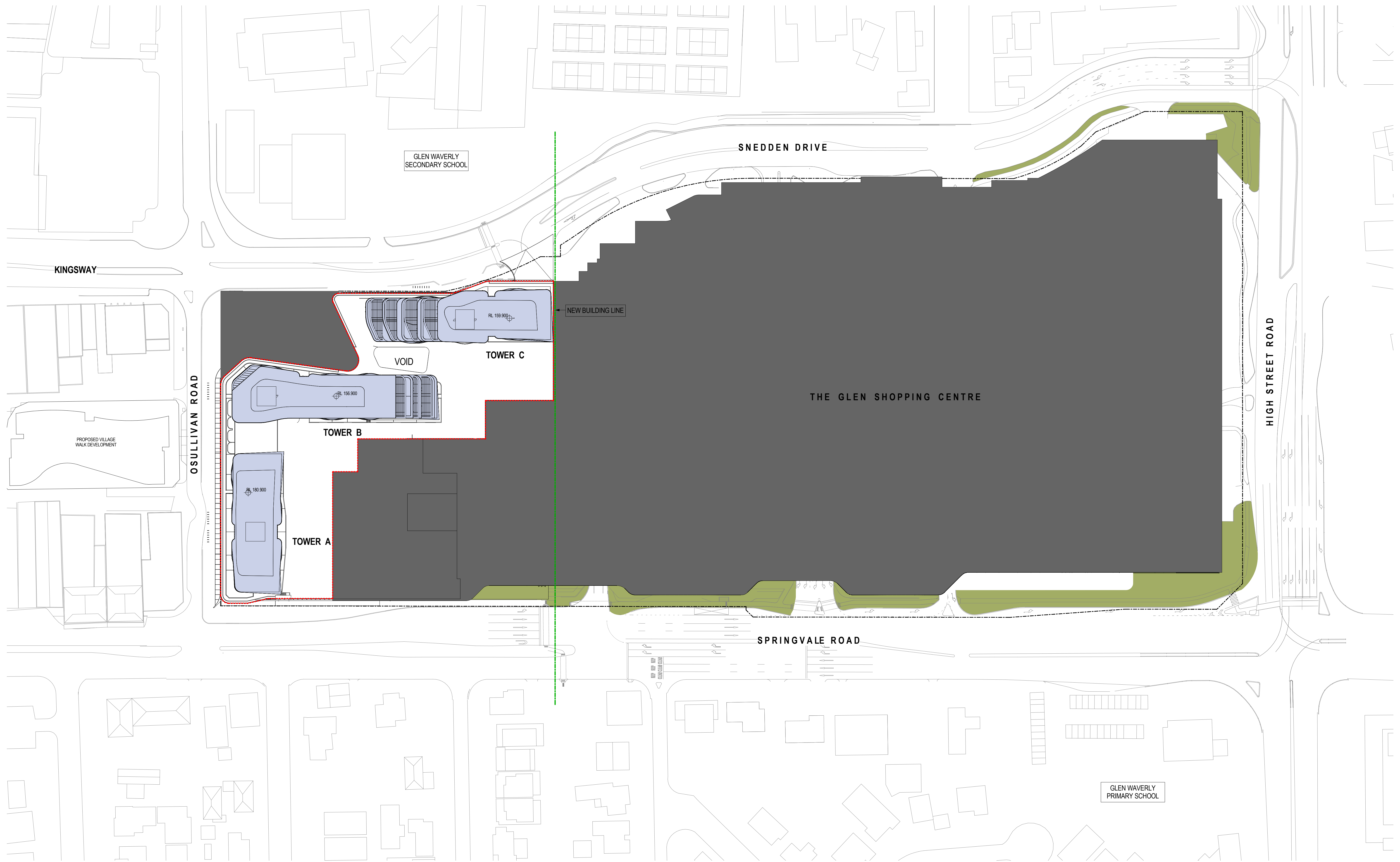
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**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **PROPOSED SITE PLAN**

Project No. / **217059**

Date / **27/09/17**

Author / **KD**

Scale: @ A1 / **1 : 750**

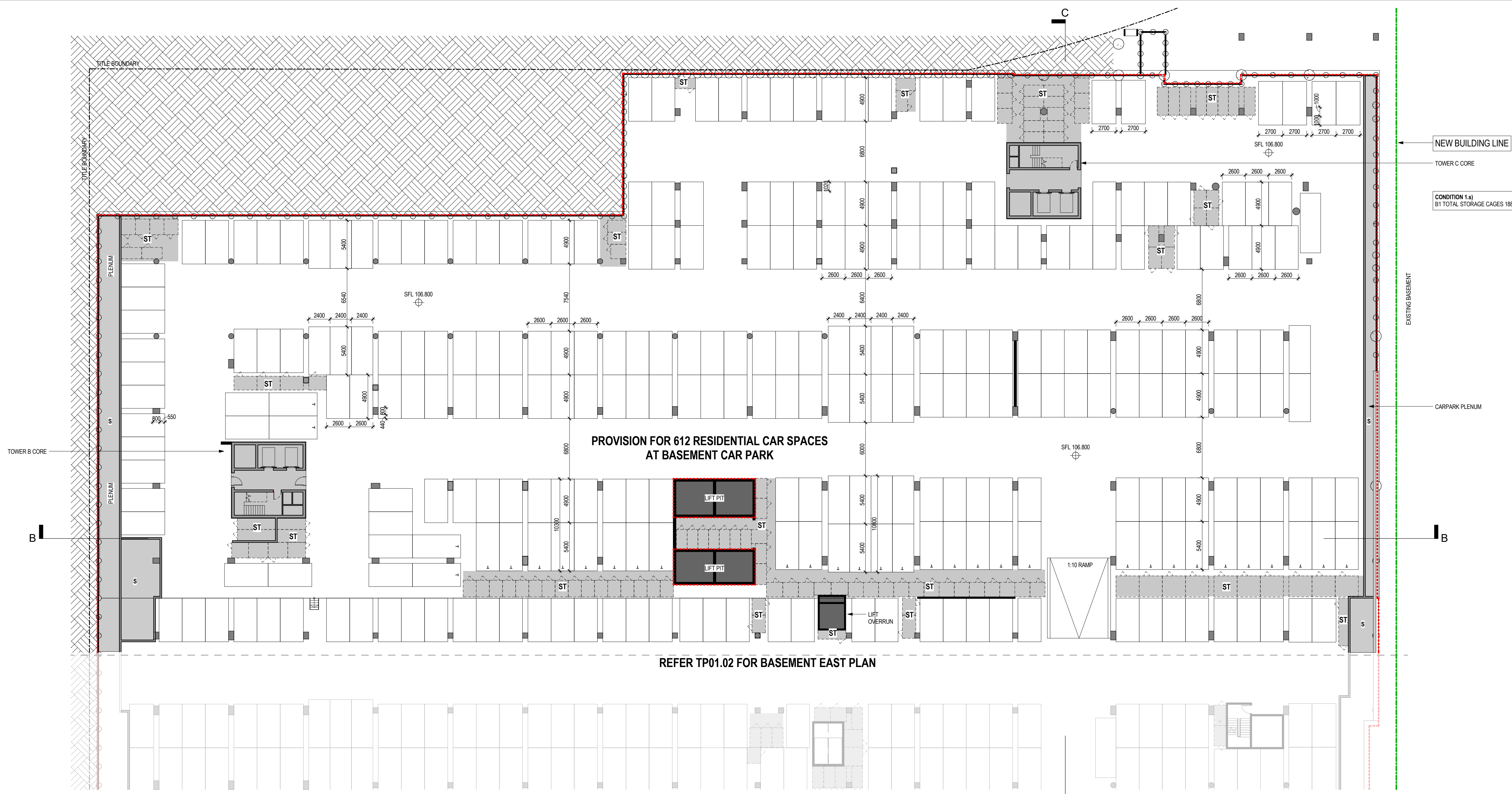
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PROVISION FOR 612 RESIDENTIAL CAR SPACES  
AT BASEMENT CAR PARK

REFER TP01.02 FOR BASEMENT EAST PLAN

NEW BUILDING LINE

TOWER C CORE

CONDITION 1.a)  
B1 TOTAL STORAGE CAGES 188

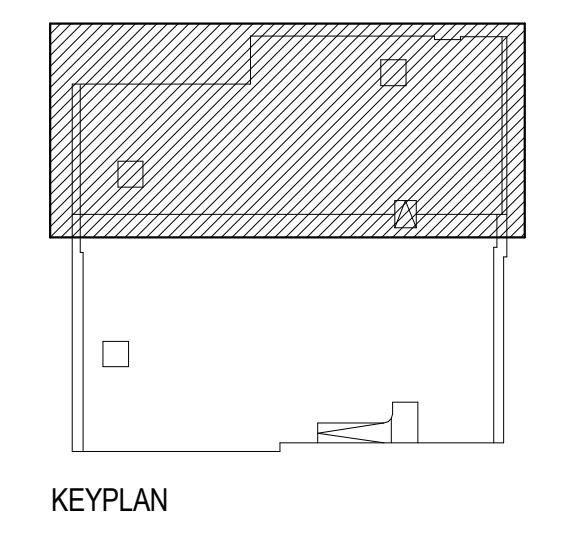
EXISTING BASEMENT

CARPARK PLENUM

NOTE:  
 CONDITION 1 a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 j) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 g) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 i) : ALL BALCONIES (T) MIN 8sqm AND MIN DIMENSION OF 1.6m

**LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span> 1 BEDROOM	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE, PERMIT NO. TP04/3892/B
<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span> 2 BEDROOM	EXTENT OF APPLICATION
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral; border:1px solid black;"></span> 3 BEDROOM	LINE OF BUILDING OVER
<span style="display:inline-block; width:10px; height:10px; background-color:gray; border:1px solid black;"></span> LOBBY	
<span style="display:inline-block; width:10px; height:10px; background-color:lightgray; border:1px solid black;"></span> SERVICES/ STORE	
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> CARPARK	
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<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> COMMUNAL	
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> RETAIL	
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> PLANTER	
	S SERVICES
	ST STORE
	T TERRACE



**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BASEMENT 1 - WEST PLAN**

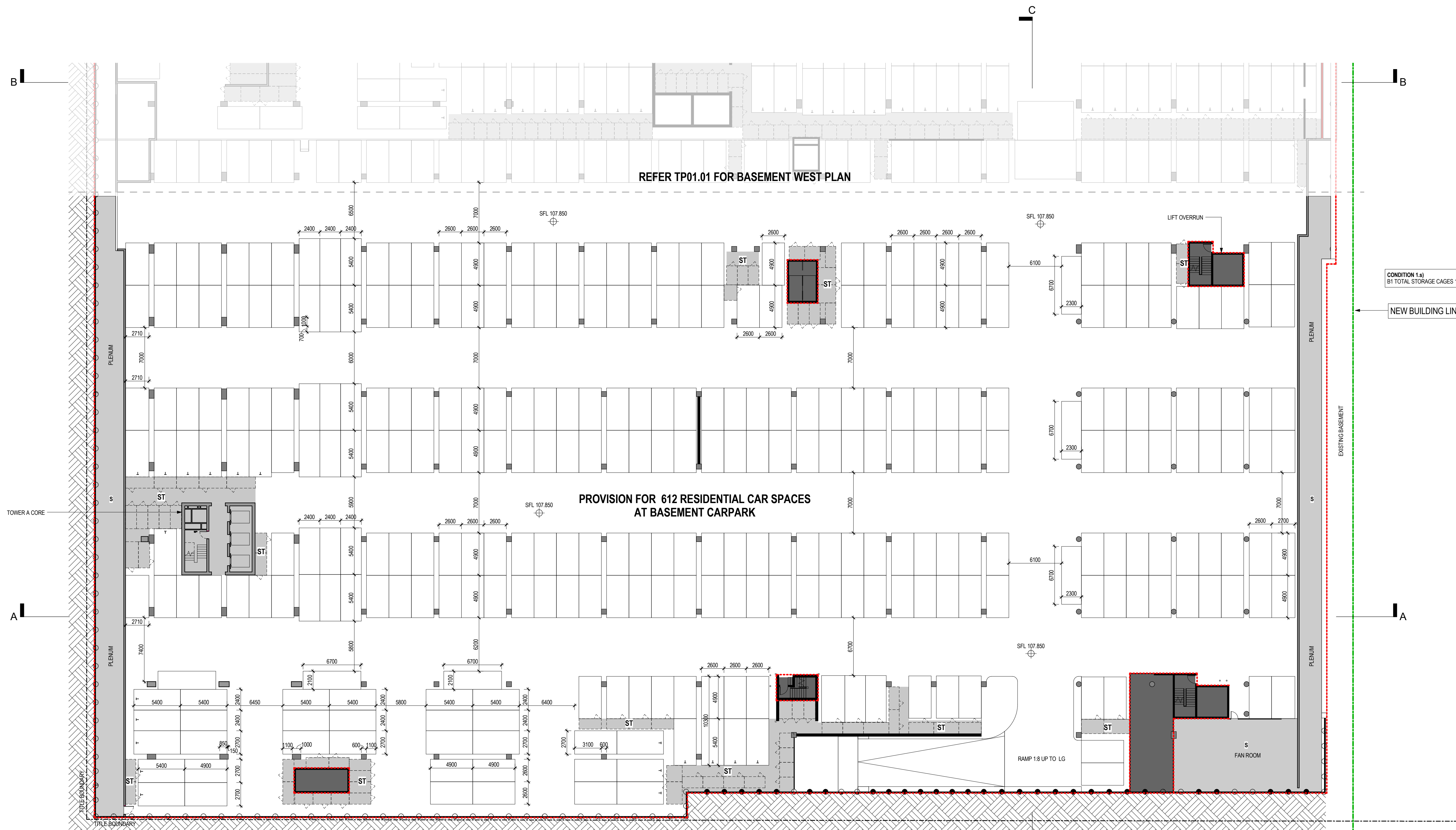
Project No / 217059 Date / 27/09/17 Author / JR/MD Scale: @ A1 / 1 : 250

Drawing No. / **TP01.01 -**

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REFER TP01.01 FOR BASEMENT WEST PLAN

PROVISION FOR 612 RESIDENTIAL CAR SPACES AT BASEMENT CARPARK

CONDITION 1 a)  
B1 TOTAL STORAGE CAGES 188

NEW BUILDING LINE

NOTE:  
 CONDITION 1 a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 b) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 c) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 d) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 e) : 6m<sup>2</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 f) : ALL BALCONIES (T) MIN 800mm AND MIN DIMENSION OF 1.6m

**LEGEND**

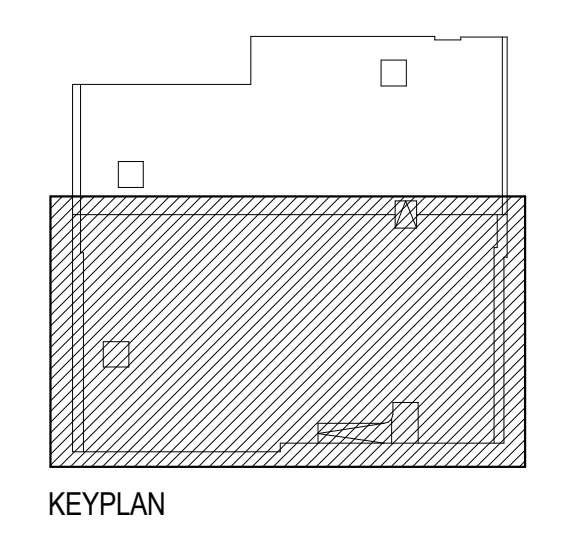
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE, PERMIT NO. TP043892/B

EXTENT OF APPLICATION

--- LINE OF BUILDING OVER

S SERVICES  
 ST STORE  
 T TERRACE



PERMIT ISSUE

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **BASEMENT 1 - EAST PLAN**

Project No / **217059** Date / **27/09/17** Author / **JR/MD** Scale: @ A1 / **1 : 250**

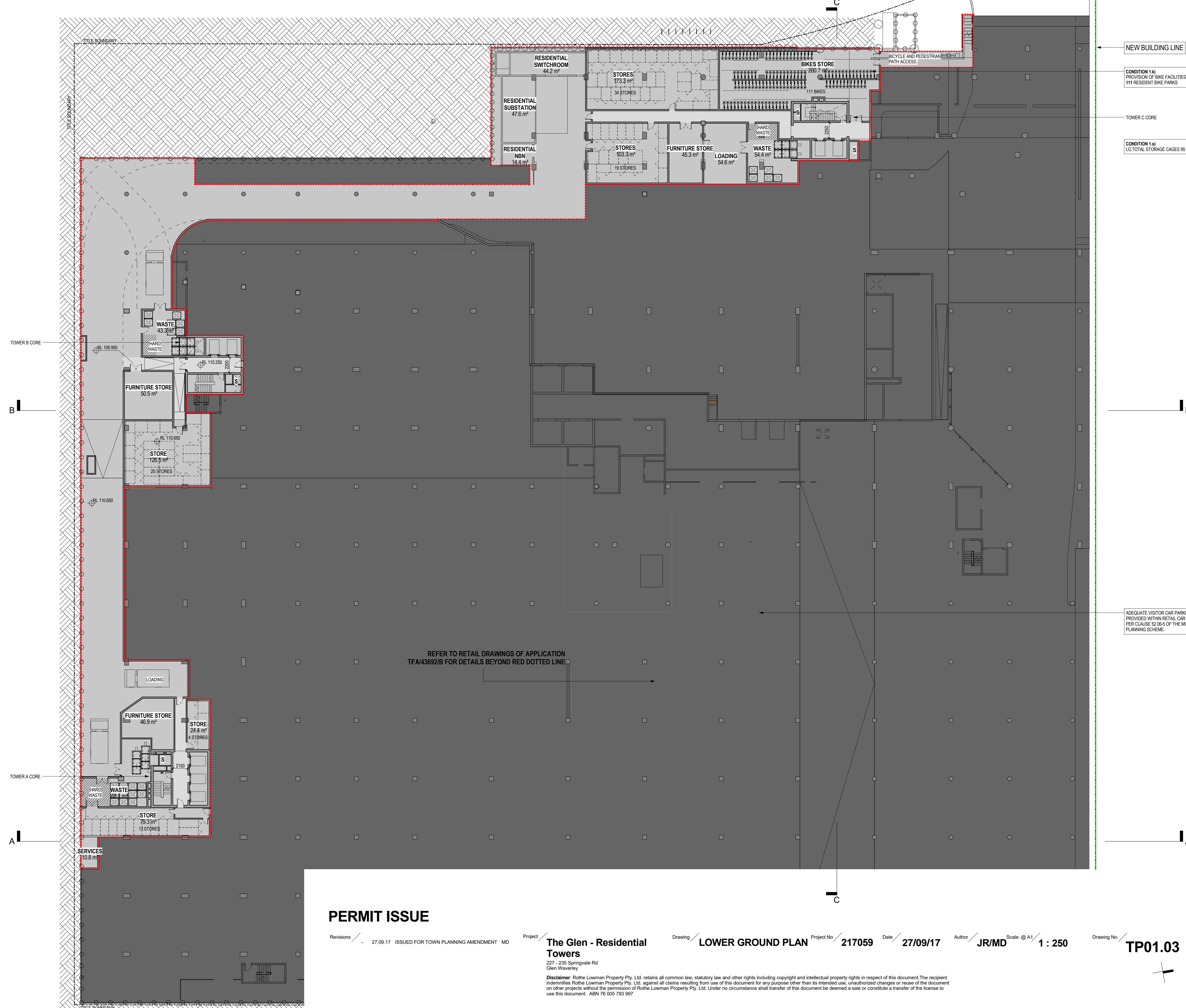
Drawing No. / **TP01.02 -**

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- NEW BUILDING LINE
- CONDITION 1.k) PROVISION OF BIKE FACILITIES 111 RESIDENT BIKE PARKS
- TOWER C CORE
- CONDITION 1.a) LG TOTAL STORAGE CAGES 95

ADEQUATE VISITOR CAR PARKING SPACES PROVIDED WITHIN RETAIL CAR PARK AS PER CLAUSE 52.05-5 OF THE MONASH PLANNING SCHEME.

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

**NOTE:**  
 CONDITION 1.o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1.p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1.q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1.r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1.s) : 6m³ STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1.t) : ALL BALCONIES (T) MIN 8sqm AND MIN DIMENSION OF 1.6m

**LEGEND**

<span style="display: inline-block; width: 10px; height: 10px; background-color: yellow; border: 1px solid black;"></span> 1 BEDROOM		PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE, PERMIT NO. TPA/43692/B
<span style="display: inline-block; width: 10px; height: 10px; background-color: orange; border: 1px solid black;"></span> 2 BEDROOM		EXTENT OF APPLICATION
<span style="display: inline-block; width: 10px; height: 10px; background-color: lightcoral; border: 1px solid black;"></span> 3 BEDROOM		LINE OF BUILDING OVER
<span style="display: inline-block; width: 10px; height: 10px; background-color: pink; border: 1px solid black;"></span> LOBBY		
<span style="display: inline-block; width: 10px; height: 10px; background-color: lightgrey; border: 1px solid black;"></span> SERVICES/ STORE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: white; border: 1px solid black;"></span> CARPARK		
<span style="display: inline-block; width: 10px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> TERRACE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> COMMUNAL		
<span style="display: inline-block; width: 10px; height: 10px; background-color: darkgrey; border: 1px solid black;"></span> RETAIL	<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span> S SERVICES	
<span style="display: inline-block; width: 10px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> PLANTER	<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span> ST STORE	
	<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black;"></span> T TERRACE	

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Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

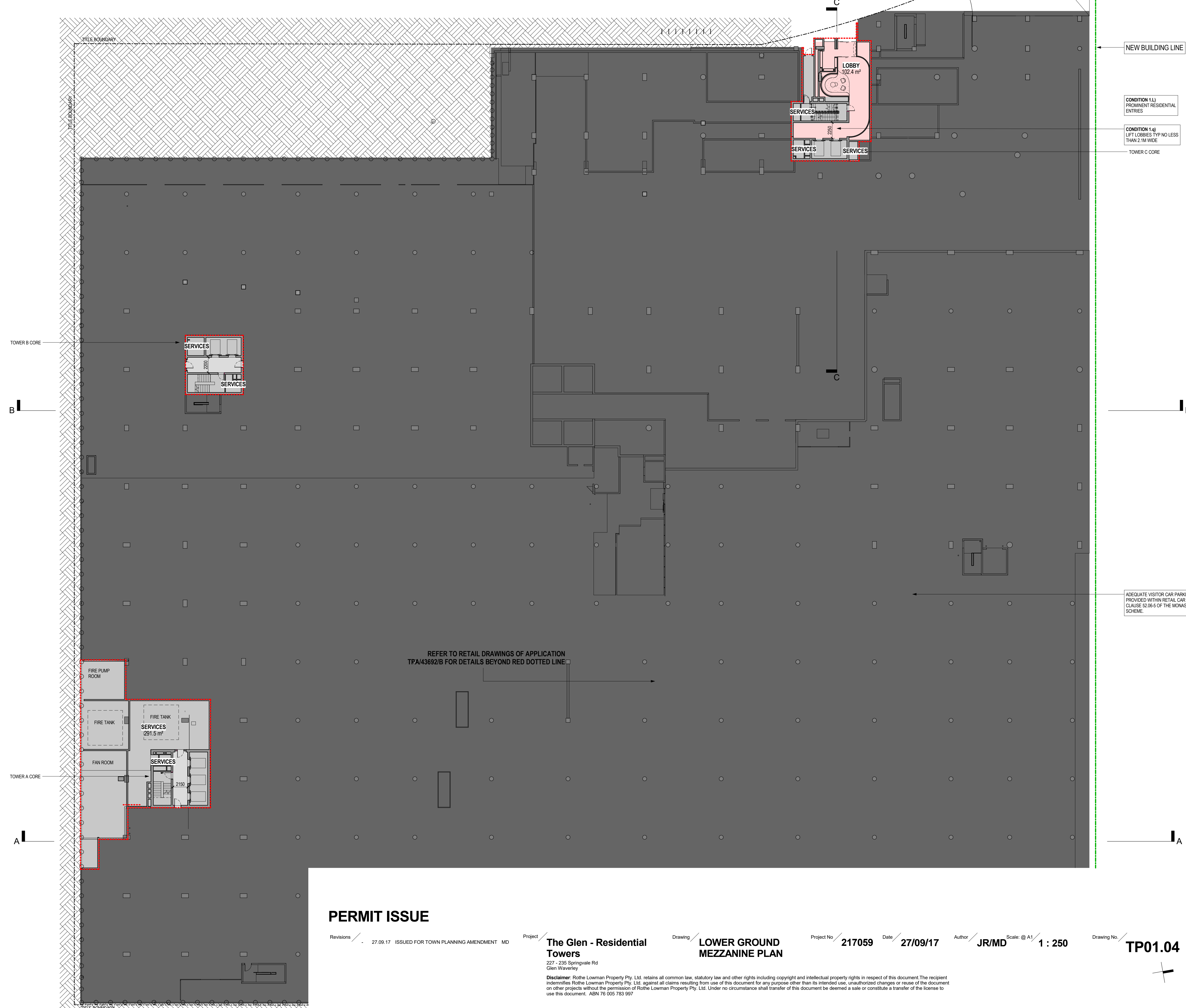
Drawing / **LOWER GROUND PLAN** Project No / **217059** Date / **27/09/17** Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.03**

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NEW BUILDING LINE

CONDITION 1.l) PROMINENT RESIDENTIAL ENTRIES

CONDITION 1.q) LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE  
TOWER C CORE

TOWER B CORE

SERVICES  
SERVICES

B

B

ADEQUATE VISITOR CAR PARKING SPACES PROVIDED WITHIN RETAIL CAR PARK AS PER CLAUSE 52.06-5 OF THE MONASH PLANNING SCHEME.

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

TOWER A CORE

FIRE PUMP ROOM  
FIRE TANK  
FIRE TANK  
SERVICES 291.5 m²  
FAN ROOM  
SERVICES  
2150

A

A

**NOTE:**  
 CONDITION 1.o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1.p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1.q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1.r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1.s) : 6m³ STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1.t) : ALL BALCONIES (T) MIN 8sqm AND MIN DIMENSION OF 1.6m

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Pink Box]	LOBBY
[Grey Box]	SERVICES/ STORE
[White Box]	CARPARK
[Light Blue Box]	TERRACE
[Dark Blue Box]	COMMUNAL
[Dark Grey Box]	RETAIL
[Green Box]	PLANTER
[Red Dotted Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE: PERMIT NO. TPA/43692/B
[Red Dotted Line]	EXTENT OF APPLICATION
[Dashed Line]	LINE OF BUILDING OVER
[S]	S SERVICES
[ST]	ST STORE
[T]	T TERRACE

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LOWER GROUND MEZZANINE PLAN**

Project No / **217059** Date / **27/09/17** Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.04**

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SNEDDEN DRIVE

O' SULLIVAN ROAD

CONDITION 1.1) PROVISION OF BIKE FACILITIES - RESIDENTIAL BUILDING C - 15 VISITOR SPACES

NEW BUILDING LINE

TOWER C CORE

VOID OVER LOBBY

CONDITION 5. NOTE O'SULLIVAN ROAD WILL BE RESOLVED THROUGH DETAILED DESIGN TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

CONDITION 1.k) PROVISION OF BIKE FACILITIES - RESIDENTIAL BUILDING B - 17 VISITOR SPACES

CONDITION 1.g) LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE

CONDITION 1.l) PROMINENT RESIDENTIAL ENTRIES

CONDITION 1.m) 3 DROP OFF SPACES

CONDITION 1.k) PROVISION OF BIKE FACILITIES - RESIDENTIAL BUILDING A - 24 VISITOR SPACES

CONDITION 1.g) LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE

CONDITION 1.l) PROMINENT RESIDENTIAL ENTRIES

LOBBY 104.3 m<sup>2</sup>  
SERVICES 17.2 m<sup>2</sup>

SERVICES 32.8 m<sup>2</sup>  
LOBBY 96.9 m<sup>2</sup>  
SERVICES 12.8 m<sup>2</sup>

SERVICES 4.8 m<sup>2</sup>  
SERVICES 48.0 m<sup>2</sup>

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

NOTE:  
 CONDITION 1.o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1.p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1.q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1.r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1.s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1.t) : ALL BALCONIES (T) MIN 6sqm AND MIN DIMENSION OF 1.6m

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Pink Box]	LOBBY
[Grey Box]	SERVICES/ STORE
[Light Blue Box]	CARPARK
[White Box]	TERRACE
[Blue Box]	COMMUNAL
[Dark Grey Box]	RETAIL
[Green Box]	PLANTER
[Red Dotted Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
[Red Dotted Line]	EXTENT OF APPLICATION
[Dashed Line]	LINE OF BUILDING OVER
[S]	SERVICES
[ST]	STORE
[T]	TERRACE

**PERMIT ISSUE**

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Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **GROUND FLOOR PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.05 -**

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CONDITION 1.a)  
LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE

A1.08  
2 Bed 2 Bath  
68.4 m<sup>2</sup>

A1.07  
2 Bed 2 Bath  
69.3 m<sup>2</sup>

A1.06  
2 Bed 2 Bath +  
69.1 m<sup>2</sup>

A1.05  
2 Bed 1 Bath  
66.2 m<sup>2</sup>

A1.04  
2 Bed 1 Bath  
66.2 m<sup>2</sup>

CONDITION 1.a)  
LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE

A1.03  
2 Bed 2 Bath  
69.1 m<sup>2</sup>

A1.02  
2 Bed 2 Bath  
69.3 m<sup>2</sup>

A1.01  
2 Bed 2 Bath  
69.3 m<sup>2</sup>

CONDITION 1.a)  
L1 TOTAL STORAGE CAGES 124

ADEQUATE VISITOR CAR PARKING SPACES PROVIDED WITHIN RETAIL CAR PARK AS PER CLAUSE 62.06-5 OF THE MONASH PLANNING SCHEME.

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

**NOTE:**  
 CONDITION 1 a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 b) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 c) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 d) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 e) : 6m<sup>2</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 f) : ALL BALCONIES (7) MIN 800mm AND MIN DIMENSION OF 1.6m

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE: PERMIT NO. TPA/43692/B

EXTENT OF APPLICATION

LINE OF BUILDING OVER

S SERVICES  
ST STORE  
T TERRACE

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 1 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.06**

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CONDITION 1.a)  
LIFT LOBBIES TYP NO LESS THAN 2.1M WIDE

CONDITION 1.a)  
L1 TOTAL STORAGE CAGES 85

ADEQUATE VISITOR CAR PARKING SPACES PROVIDED WITHIN RETAIL CAR PARK AS PER CLAUSE 52.06-5 OF THE MONASH PLANNING SCHEME.

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

NOTE:  
CONDITION 1.o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
CONDITION 1.p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
CONDITION 1.q) : LIFT LOBBIES NO LESS THAN 2.1m  
CONDITION 1.r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
CONDITION 1.s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
CONDITION 1.t) : ALL BALCONIES (T) MIN 800mm AND MIN DIMENSION OF 1.6m

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B

EXTENT OF APPLICATION

LINE OF BUILDING OVER

S SERVICES  
ST STORE  
T TERRACE

### PERMIT ISSUE

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Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 1 MEZZANINE PLAN**

Project No / 217059 Date / 27/09/17 Author / JR/MD Scale: @ A1 / 1 : 250

Drawing No. / TP01.07 -

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- B2.01 2 Bed 2 Bath 73.1 m<sup>2</sup>
- B2.02 2 Bed 2 Bath 76.5 m<sup>2</sup>
- B2.03 2 Bed 2 Bath + 74.9 m<sup>2</sup>
- B2.04 1 Bed 49.3 m<sup>2</sup>
- B2.05 2 Bed 2 Bath 69.0 m<sup>2</sup>
- B2.07 1 Bed 47.5 m<sup>2</sup>
- B2.09 2 Bed 2 Bath 68.8 m<sup>2</sup>
- B2.11 2 Bed 2 Bath 68.8 m<sup>2</sup>
- B2.13 2 Bed 2 Bath 69.8 m<sup>2</sup>
- B2.15 2 Bed 2 Bath + 70.3 m<sup>2</sup>
- B2.16 2 Bed 2 Bath + 75.1 m<sup>2</sup>
- A2.13 2 Bed 2 Bath 69.6 m<sup>2</sup>
- A2.14 1 Bed 49.8 m<sup>2</sup>
- A2.12 2 Bed 2 Bath 69.9 m<sup>2</sup>
- A2.10 1 Bed 51.3 m<sup>2</sup>
- A2.09 1 Bed 49.9 m<sup>2</sup>
- A2.07 2 Bed 2 Bath 69.0 m<sup>2</sup>
- A2.08 2 Bed 2 Bath 71.7 m<sup>2</sup>
- A2.05 2 Bed 2 Bath 68.8 m<sup>2</sup>
- A2.06 2 Bed 2 Bath 71.6 m<sup>2</sup>
- A2.04 1 Bed 50.3 m<sup>2</sup>
- A2.03 1 Bed 49.8 m<sup>2</sup>
- A2.02 2 Bed 2 Bath 78.7 m<sup>2</sup>

- C2.01 2 Bed 2 Bath 73.8 m<sup>2</sup>
- C2.03 2 Bed 2 Bath 70.8 m<sup>2</sup>
- C2.05 1 Bed 48.8 m<sup>2</sup>
- C2.07 2 Bed 2 Bath 68.8 m<sup>2</sup>
- C2.08 1 Bed 51.0 m<sup>2</sup>
- C2.09 2 Bed 2 Bath 73.1 m<sup>2</sup>
- C2.11 2 Bed 2 Bath 71.8 m<sup>2</sup>
- C2.13 2 Bed 2 Bath 71.6 m<sup>2</sup>
- C2.15 2 Bed 2 Bath + 77.8 m<sup>2</sup>
- C2.14 2 Bed 2 Bath + 79.0 m<sup>2</sup>
- C2.10 2 Bed 2 Bath 69.9 m<sup>2</sup>
- C2.12 2 Bed 2 Bath 69.8 m<sup>2</sup>

CONDITION 1. n)  
REFER TO LANDSCAPE ARCHITECT'S  
DRAWINGS FOR LANDSCAPE DETAILS

CONDITION 1. n)  
REFER TO LANDSCAPE ARCHITECT'S  
DRAWINGS FOR LANDSCAPE DETAILS

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 2 PLAN**

Project No / **217059** Date / **27/09/17** Author / **JR**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.08**

**NOTE:**  
 CONDITION 1. o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1. p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1. q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1. r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1. s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1. t) : ALL BALCONIES (T) MIN 900mm AND MIN DIMENSION OF 1.6m

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662/B  
 EXTENT OF APPLICATION  
 LINE OF BUILDING OVER

S SERVICES  
 ST STORE  
 T TERRACE

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C4.17  
2 Bed 2 Bath  
77.0 m<sup>2</sup>

C4.16  
2 Bed 2 Bath  
77.3 m<sup>2</sup>

CONDITION 1(a)  
L3 TO 6 TOTAL STORAGE CAGES 7  
/FLOOR (TYPICAL)

NOTE:  
 CONDITION 1 (a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 (b) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 (c) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 (d) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 (e) : 6m<sup>2</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 (f) : ALL BALCONIES (T) MIN BEAM AND MIN DIMENSION OF 1.6m

LEGEND

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662/B

EXTENT OF APPLICATION

LINE OF BUILDING OVER

S SERVICES  
ST STORE  
T TERRACE

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 3-6 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.09**

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CONDITION 1 a)  
L7 TOTAL STORAGE CAGES 7

**NOTE:**  
 CONDITION 1 a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 b) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 c) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 d) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 e) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 f) : ALL BALCONIES (T) MIN BEAM AND MIN DIMENSION OF 1.6m

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43682B  
 EXTENT OF APPLICATION  
 LINE OF BUILDING OVER

S SERVICES  
 ST STORE  
 T TERRACE

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **LEVEL 7 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.13**

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CONDITION 1 a)  
L8 TOTAL STORAGE CAGES 8

**NOTE:**

CONDITION 1 o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 s) : 6m<sup>2</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 t) : ALL BALCONIES (T) MIN 600mm AND MIN DIMENSION OF 1.6m

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **LEVEL 8 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.14**

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C9.11  
3 Bed  
96.7 m<sup>2</sup>

C9.13  
2 Bed 2 Bath +  
77.3 m<sup>2</sup>

CONDITION 1.a)  
L9 TOTAL STORAGE CAGES 5

**TOWER C**

**TOWER B**

**TOWER A**

**PERMIT ISSUE**

**NOTE:**  
 CONDITION 1.o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1.p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1.q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1.r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1.s) : 6m<sup>2</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1.t) : ALL BALCONIES (T) MIN BEAM AND MIN DIMENSION OF 1.6m

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Light Blue Box]	LOBBY
[Grey Box]	SERVICES/ STORE
[White Box]	CARPARK
[Light Green Box]	TERRACE
[Blue Box]	COMMUNAL
[Dark Blue Box]	RETAIL
[Green Box]	PLANTER
[S]	SERVICES
[ST]	STORE
[T]	TERRACE
[Red Dashed Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA4362/B
[Red Dotted Line]	EXTENT OF APPLICATION
[Dashed Line]	LINE OF BUILDING OVER

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **LEVEL 9 PLAN**

Project No / **217059** Date / **27/09/17** Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.15 -**

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**NOTE:**  
 CONDITION 1 (a) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 (b) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 (c) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 (d) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 (e) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 (f) : ALL BALCONIES (T) MIN Depth AND MIN DIMENSION OF 1.6m

**LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span> 1 BEDROOM		PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662/B
<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span> 2 BEDROOM		EXTENT OF APPLICATION
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral; border:1px solid black;"></span> 3 BEDROOM		LINE OF BUILDING OVER
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey; border:1px solid black;"></span> SERVICES/ STORE		
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> CARPARK		
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen; border:1px solid black;"></span> TERRACE		
<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow; border:1px solid black;"></span> COMMUNAL		
<span style="display:inline-block; width:10px; height:10px; background-color:lightpink; border:1px solid black;"></span> RETAIL	S SERVICES	
<span style="display:inline-block; width:10px; height:10px; background-color:lightcyan; border:1px solid black;"></span> PLANTER	ST STORE	
	T TERRACE	

**PERMIT ISSUE**

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Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **LEVEL 10 PLAN**

Project No / **217059** Date / **27/09/17**

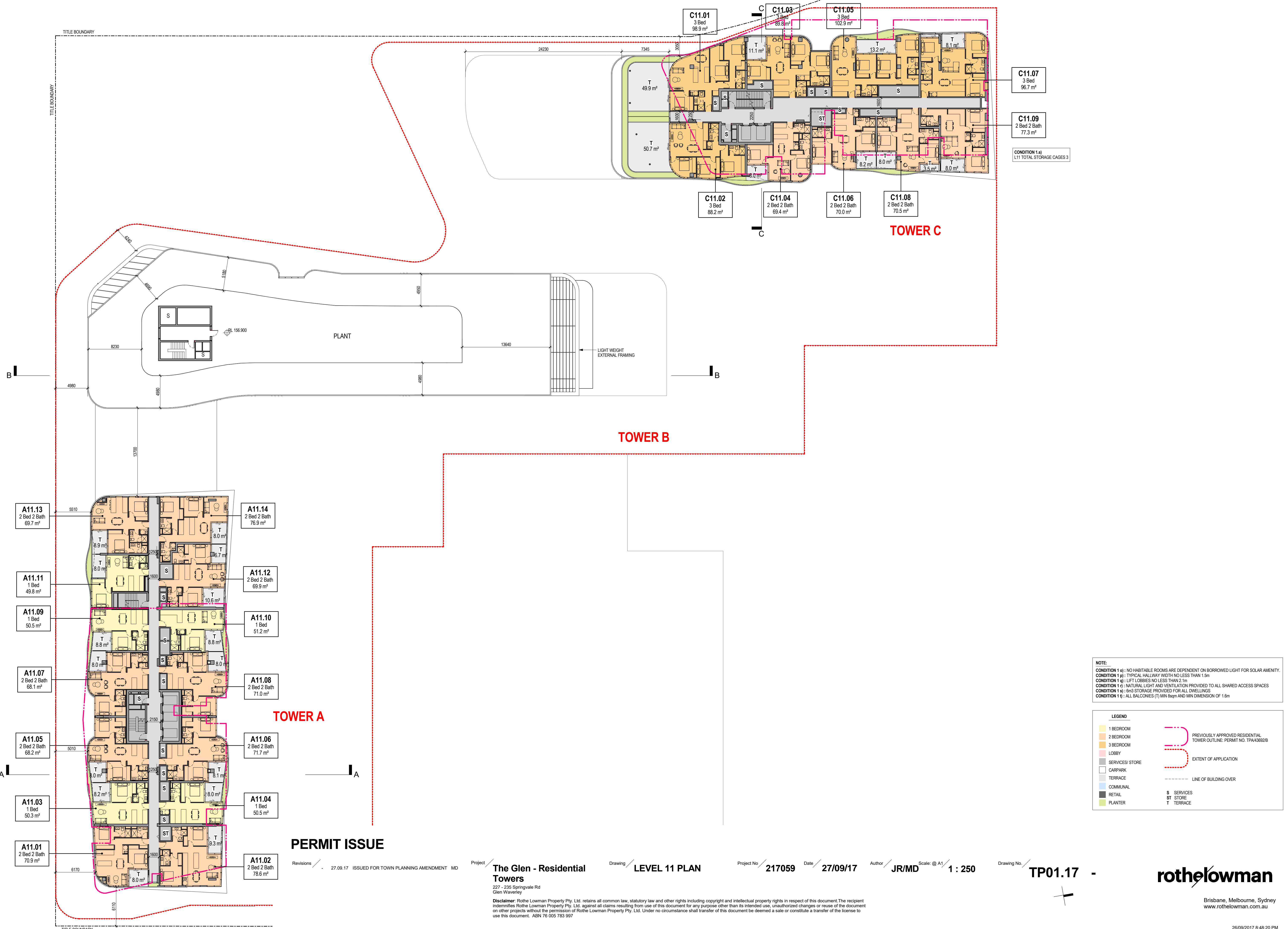
Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.16**

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- C11.07  
3 Bed  
96.7 m<sup>2</sup>
- C11.09  
2 Bed 2 Bath  
77.3 m<sup>2</sup>
- CONDITION 1 a)  
L11 TOTAL STORAGE CAGES 3

- A11.13  
2 Bed 2 Bath  
69.7 m<sup>2</sup>
- A11.11  
1 Bed  
49.8 m<sup>2</sup>
- A11.09  
1 Bed  
50.5 m<sup>2</sup>
- A11.07  
2 Bed 2 Bath  
68.1 m<sup>2</sup>
- A11.05  
2 Bed 2 Bath  
68.2 m<sup>2</sup>
- A11.03  
1 Bed  
50.3 m<sup>2</sup>
- A11.01  
2 Bed 2 Bath  
70.9 m<sup>2</sup>
- A11.14  
2 Bed 2 Bath  
76.9 m<sup>2</sup>
- A11.12  
2 Bed 2 Bath  
69.9 m<sup>2</sup>
- A11.10  
1 Bed  
51.2 m<sup>2</sup>
- A11.08  
2 Bed 2 Bath  
71.0 m<sup>2</sup>
- A11.06  
2 Bed 2 Bath  
71.7 m<sup>2</sup>
- A11.04  
1 Bed  
50.5 m<sup>2</sup>
- A11.02  
2 Bed 2 Bath  
78.6 m<sup>2</sup>

- C11.01  
3 Bed  
98.9 m<sup>2</sup>
- C11.03  
3 Bed  
89.8 m<sup>2</sup>
- C11.05  
3 Bed  
102.9 m<sup>2</sup>
- C11.02  
3 Bed  
88.2 m<sup>2</sup>
- C11.04  
2 Bed 2 Bath  
69.4 m<sup>2</sup>
- C11.06  
2 Bed 2 Bath  
70.0 m<sup>2</sup>
- C11.08  
2 Bed 2 Bath  
70.5 m<sup>2</sup>

**NOTE:**  
 CONDITION 1 o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 t) : ALL BALCONIES (T) MIN BEIGN AND MIN DIMENSION OF 1.6m

**LEGEND**

<span style="display: inline-block; width: 10px; height: 10px; background-color: #fff9c4; border: 1px solid black;"></span> 1 BEDROOM		PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662/B
<span style="display: inline-block; width: 10px; height: 10px; background-color: #ffe0b2; border: 1px solid black;"></span> 2 BEDROOM		EXTENT OF APPLICATION
<span style="display: inline-block; width: 10px; height: 10px; background-color: #ffccbc; border: 1px solid black;"></span> 3 BEDROOM		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #ffab91; border: 1px solid black;"></span> LOBBY		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> SERVICES/ STORE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> CARPARK		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> TERRACE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> COMMUNAL		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> RETAIL		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> PLANTER		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> S SERVICES/ STORE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> ST STORE		
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> T TERRACE		
		LINE OF BUILDING OVER

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **LEVEL 11 PLAN**

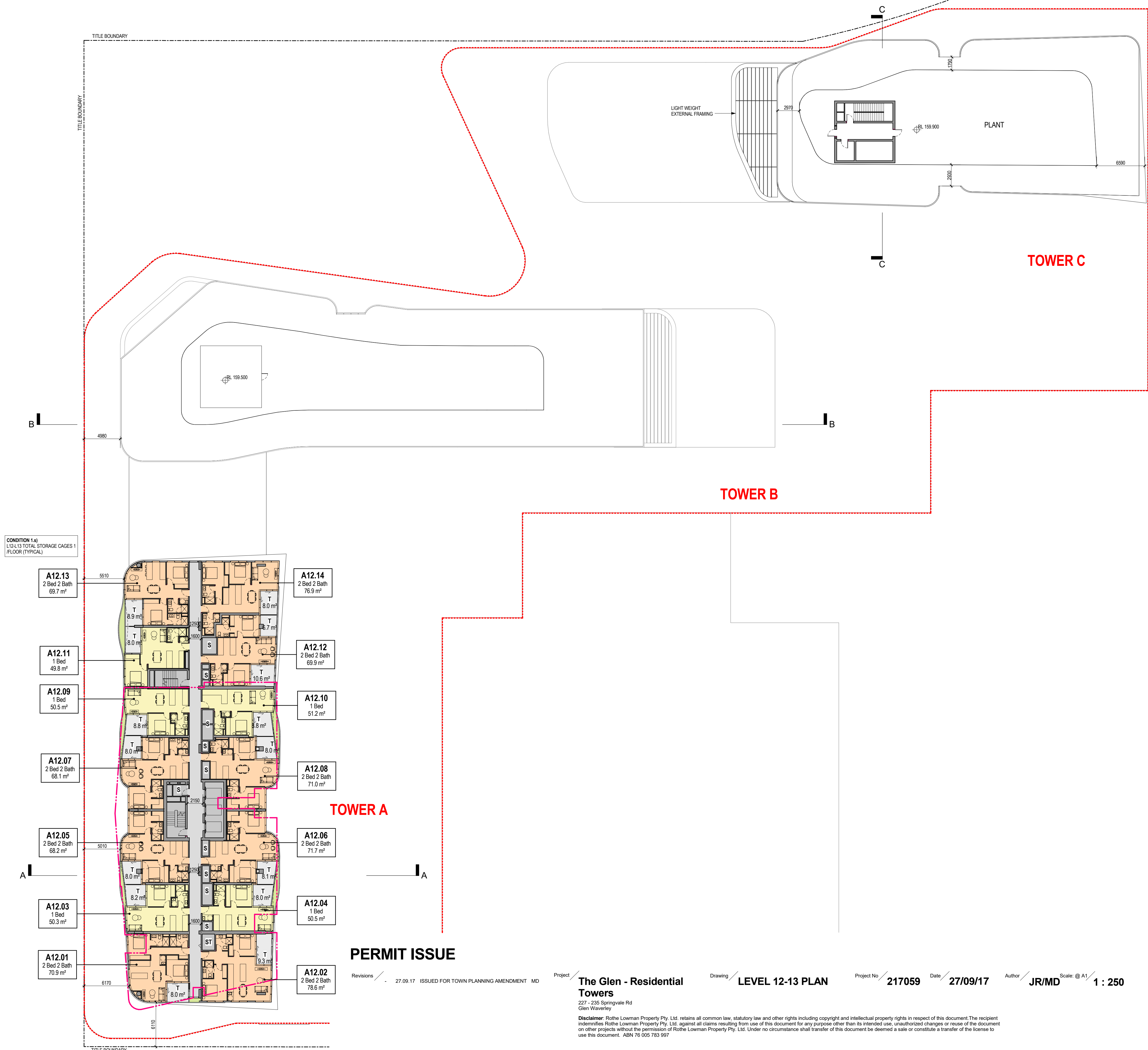
Project No / **217059** Date / **27/09/17** Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.17**

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CONDITION 1.a)  
L12,L13 TOTAL STORAGE CAGES 1  
/FLOOR (TYPICAL)

- A12.13  
2 Bed 2 Bath  
69.7 m<sup>2</sup>
- A12.11  
1 Bed  
49.8 m<sup>2</sup>
- A12.09  
1 Bed  
50.5 m<sup>2</sup>
- A12.07  
2 Bed 2 Bath  
68.1 m<sup>2</sup>
- A12.05  
2 Bed 2 Bath  
68.2 m<sup>2</sup>
- A12.03  
1 Bed  
50.3 m<sup>2</sup>
- A12.01  
2 Bed 2 Bath  
70.9 m<sup>2</sup>
- A12.14  
2 Bed 2 Bath  
76.9 m<sup>2</sup>
- A12.12  
2 Bed 2 Bath  
69.9 m<sup>2</sup>
- A12.10  
1 Bed  
51.2 m<sup>2</sup>
- A12.08  
2 Bed 2 Bath  
71.0 m<sup>2</sup>
- A12.06  
2 Bed 2 Bath  
71.7 m<sup>2</sup>
- A12.04  
1 Bed  
50.5 m<sup>2</sup>
- A12.02  
2 Bed 2 Bath  
78.6 m<sup>2</sup>

**TOWER A**

**TOWER B**

**TOWER C**

**PERMIT ISSUE**

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Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 12-13 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **JR/MD** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.18**

**NOTE:**  
 CONDITION 1 o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 t) : ALL BALCONIES (T) MIN BEAM AND MIN DIMENSION OF 1.6m

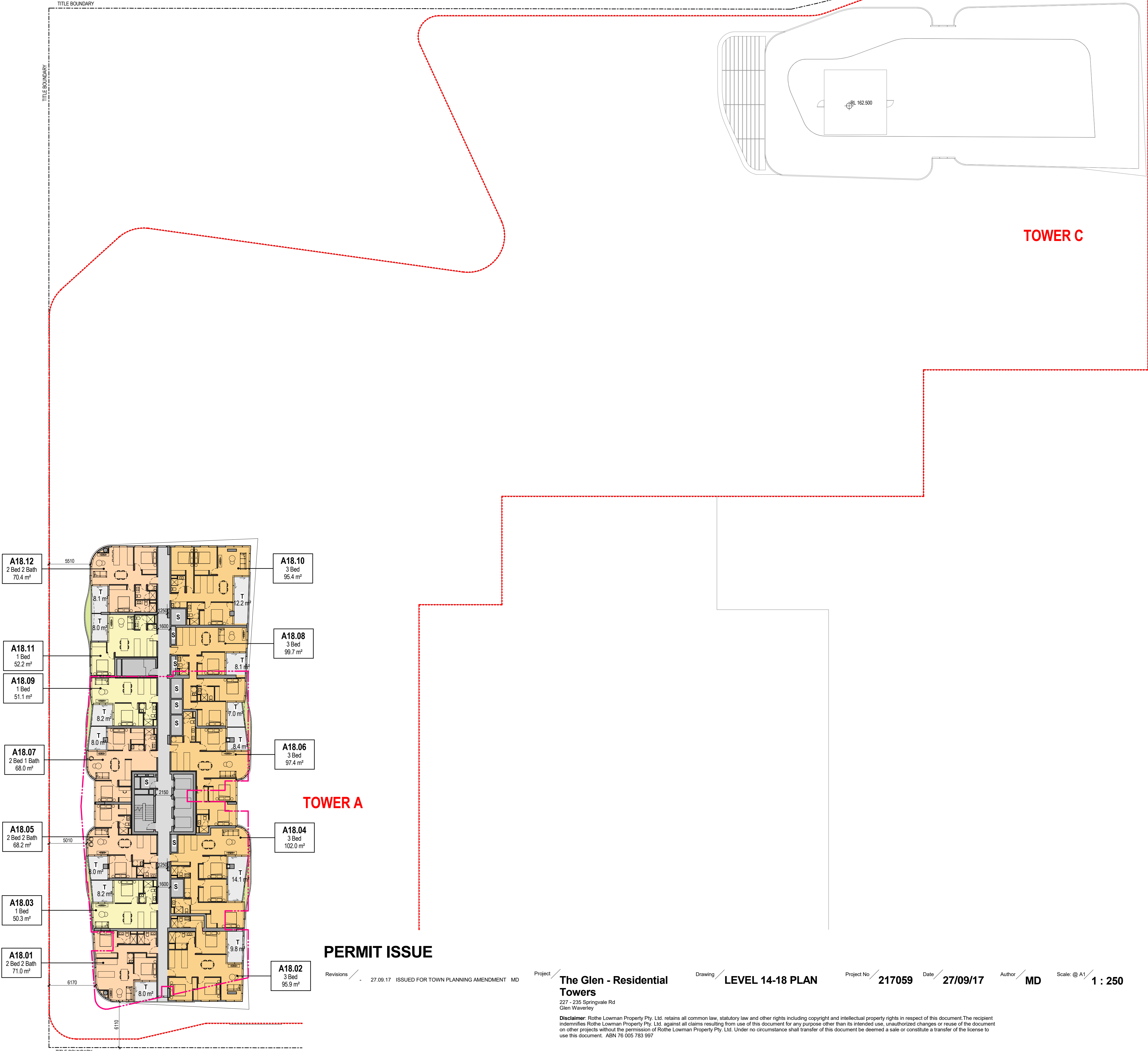
**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER
- S SERVICES
- ST STORE
- T TERRACE
- PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662B
- EXTENT OF APPLICATION
- LINE OF BUILDING OVER

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- A18.12**  
2 Bed 2 Bath  
70.4 m<sup>2</sup>
- A18.11**  
1 Bed  
52.2 m<sup>2</sup>
- A18.09**  
1 Bed  
51.1 m<sup>2</sup>
- A18.07**  
2 Bed 1 Bath  
68.0 m<sup>2</sup>
- A18.05**  
2 Bed 2 Bath  
68.2 m<sup>2</sup>
- A18.03**  
1 Bed  
50.3 m<sup>2</sup>
- A18.01**  
2 Bed 2 Bath  
71.0 m<sup>2</sup>
- A18.10**  
3 Bed  
95.4 m<sup>2</sup>
- A18.08**  
3 Bed  
99.7 m<sup>2</sup>
- A18.06**  
3 Bed  
97.4 m<sup>2</sup>
- A18.04**  
3 Bed  
102.0 m<sup>2</sup>
- A18.02**  
3 Bed  
95.9 m<sup>2</sup>

**TOWER A**

**TOWER C**

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **LEVEL 14-18 PLAN**

Project No / **217059** Date / **27/09/17**

Author / **MD**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.24 -**

**NOTE:**  
 CONDITION 1 o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 t) : ALL BALCONIES (T) MIN 800mm AND MIN DIMENSION OF 1.6m

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- SERVICES/ STORE
- CARPARK
- TERRACE
- COMMUNAL
- RETAIL
- PLANTER

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43662B

EXTENT OF APPLICATION

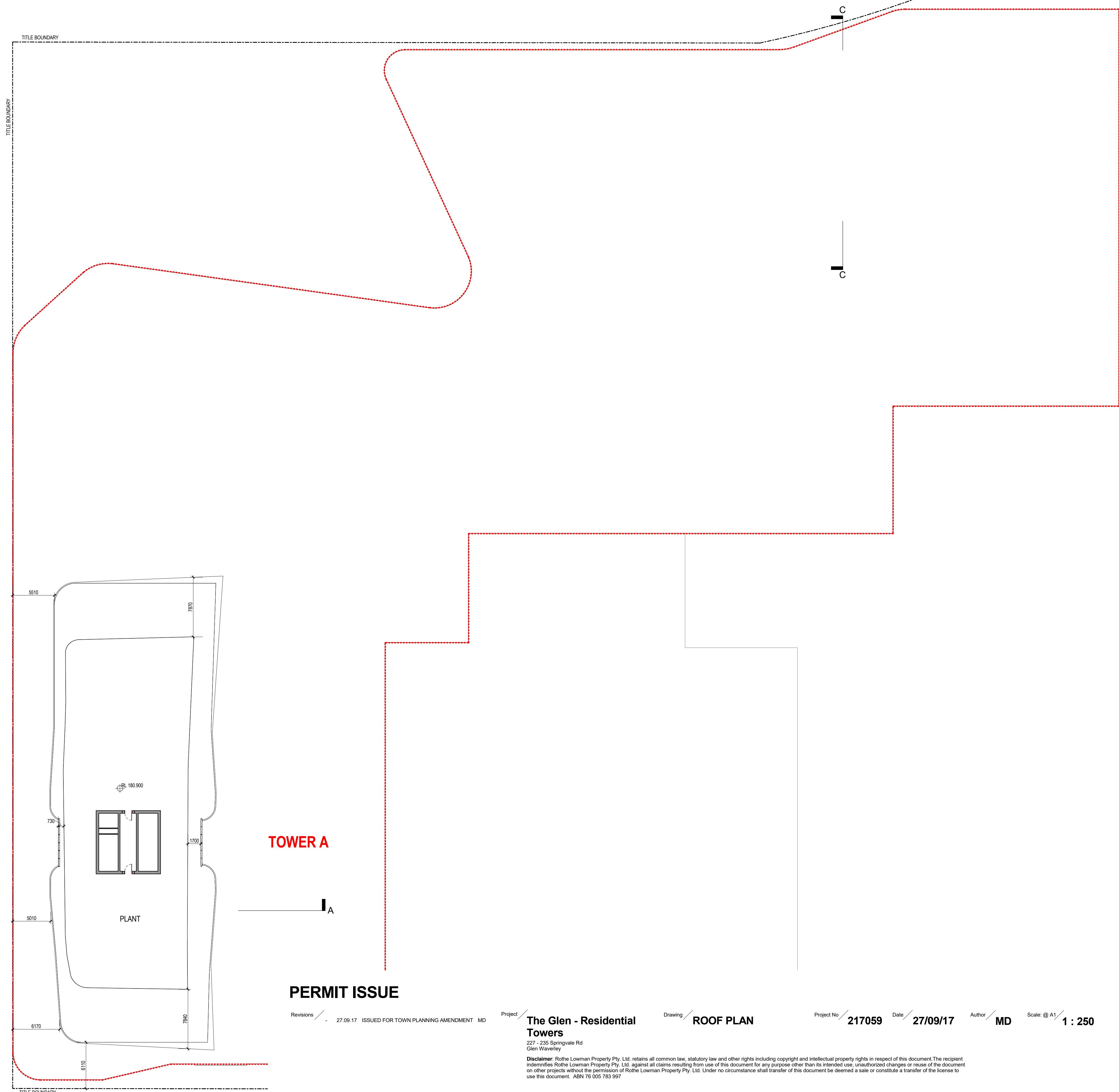
LINE OF BUILDING OVER

S SERVICES  
ST STORE  
T TERRACE

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**TOWER A**

**PERMIT ISSUE**

**NOTE:**  
 CONDITION 1 o) : NO HABITABLE ROOMS ARE DEPENDENT ON BORROWED LIGHT FOR SOLAR AMENITY.  
 CONDITION 1 p) : TYPICAL HALLWAY WIDTH NO LESS THAN 1.5m  
 CONDITION 1 q) : LIFT LOBBIES NO LESS THAN 2.1m  
 CONDITION 1 r) : NATURAL LIGHT AND VENTILATION PROVIDED TO ALL SHARED ACCESS SPACES  
 CONDITION 1 s) : 6m<sup>3</sup> STORAGE PROVIDED FOR ALL DWELLINGS  
 CONDITION 1 t) : ALL BALCONIES (T) MIN 8sqm AND MIN DIMENSION OF 1.6m

LEGEND	
1 BEDROOM	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE: PERMIT NO. TPA43692/B
2 BEDROOM	
3 BEDROOM	
LOBBY	EXTENT OF APPLICATION
SERVICES/ STORE	
CARPARK	
TERRACE	LINE OF BUILDING OVER
COMMUNAL	
RETAIL	S SERVICES
PLANTER	ST STORE
	T TERRACE

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
 227 - 235 Springvale Rd  
 Glen Waverley

Drawing / **ROOF PLAN**

Project No / **217059** Date / **27/09/17** Author / **MD**

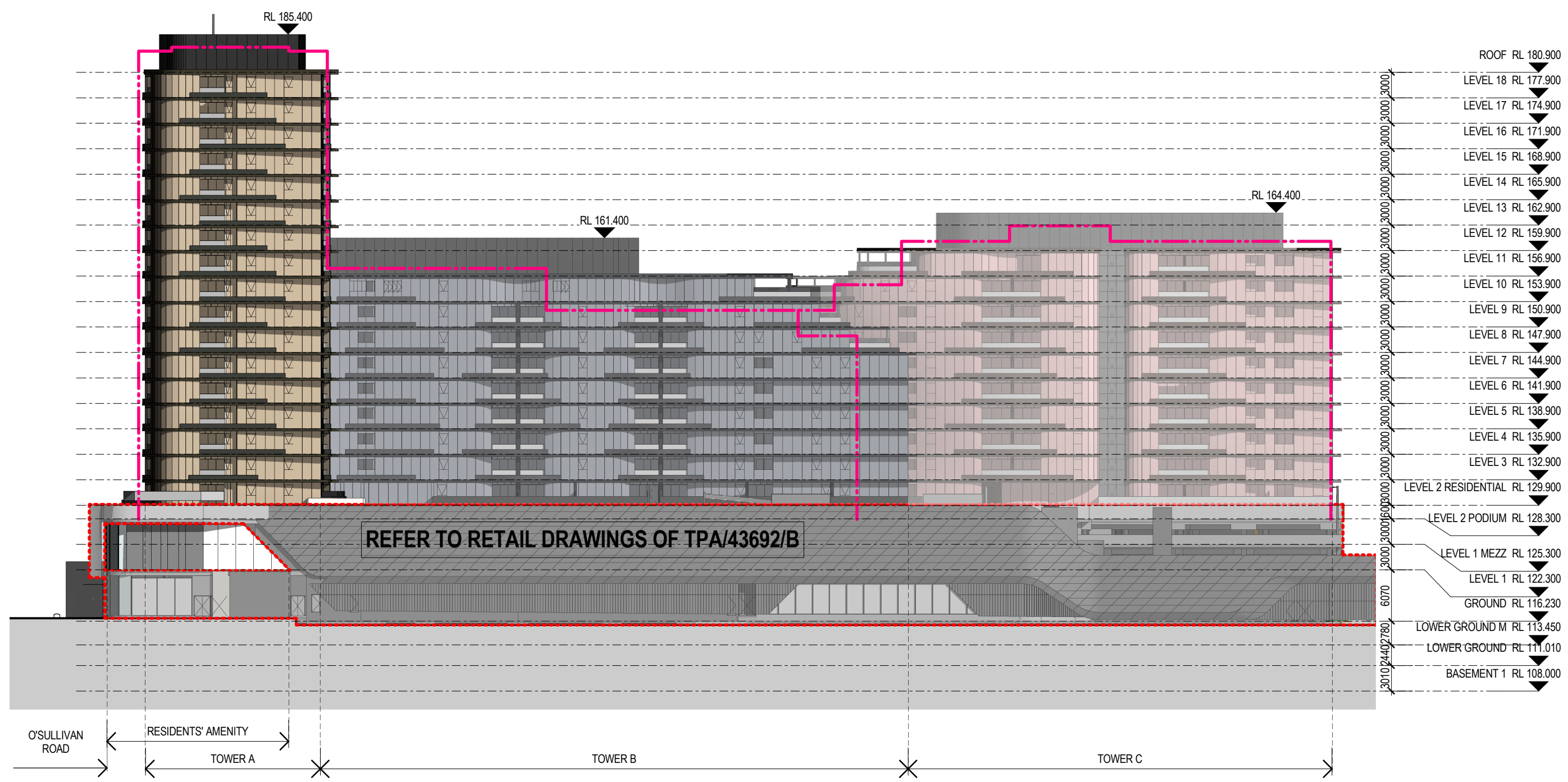
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Drawing No. / **TP01.25 -**

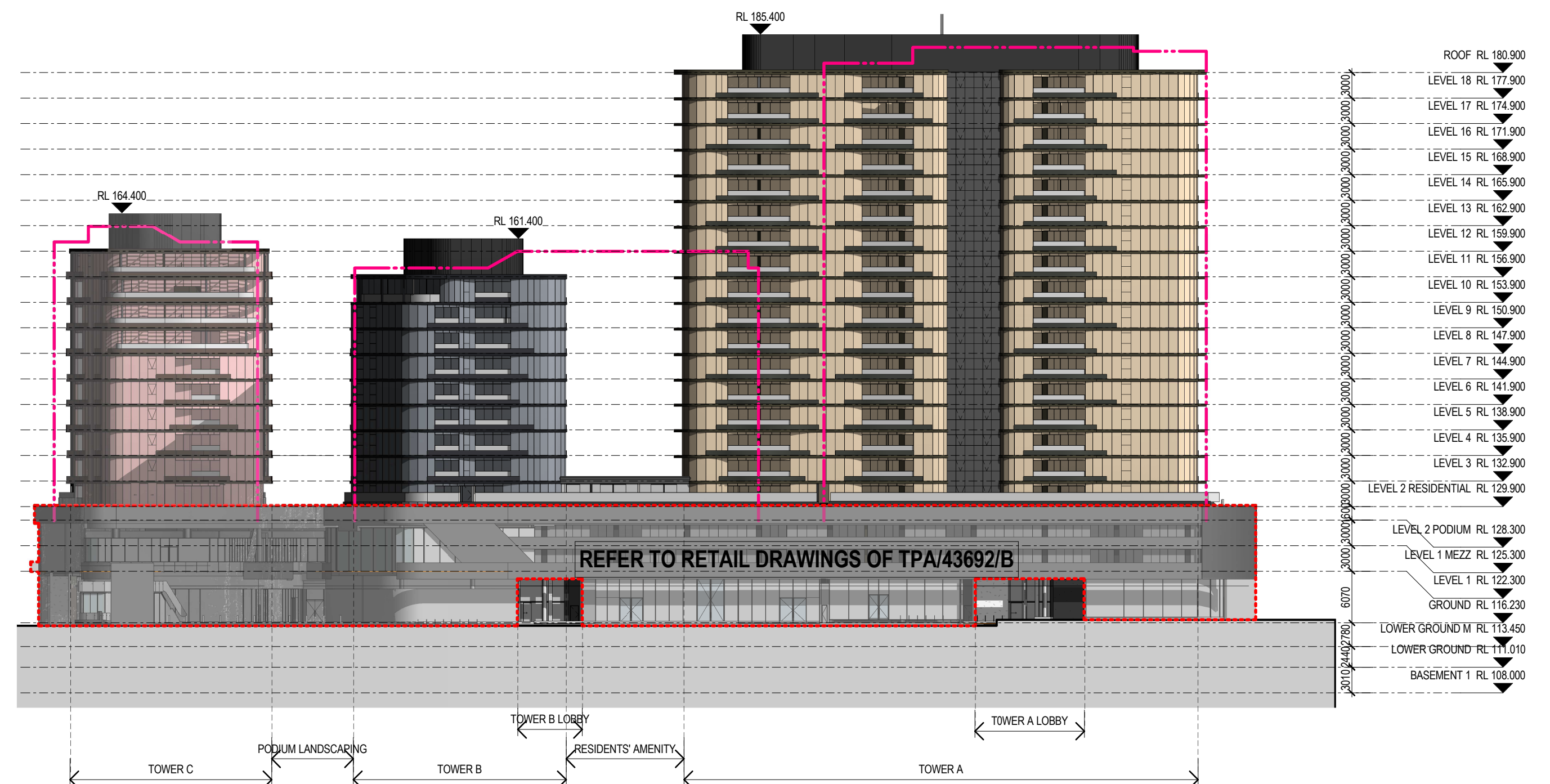
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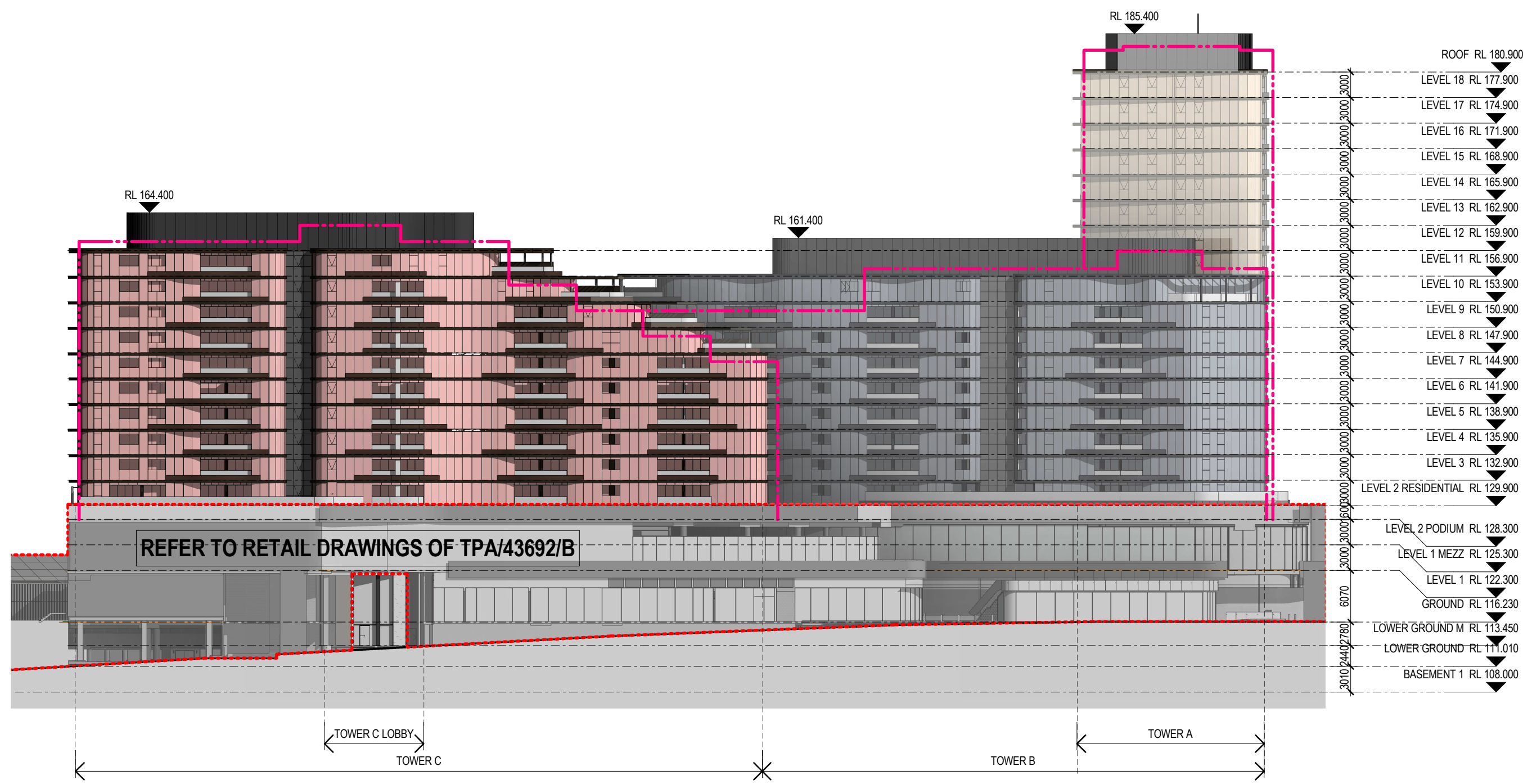
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EAST



SOUTH



WEST

LEGEND	
	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE: PERMIT NO. TPA/43692/B
	EXTENT OF APPLICATION
	RETAIL

**MATERIALS SCHEDULE**

AFX1 APPLIED FINISH - CHARCOAL	MCA2 METAL CLADDING A2 - TOWER A
GTA1 VISION GLASS A1 - TOWER A	MCB1 METAL CLADDING B1 - TOWER B
GTA2 SPANDREL GLASS A2 - TOWER A	MCB2 METAL CLADDING B2 - TOWER B
GTB1 VISION GLASS B1 - TOWER B	MCC1 METAL CLADDING C1 - TOWER C
GTB2 SPANDREL GLASS B2 - TOWER B	MCC2 METAL CLADDING C2 - TOWER C
GTC1 VISION GLASS C1 - TOWER C	MCA1 METAL FINISH A1 - TOWER A
GTC2 SPANDREL GLASS C2 - TOWER C	MFB1 METAL FINISH B1 - TOWER B
GTX1 CLEAR VISION GLASS	MFC1 METAL FINISH C1 - TOWER C
GTX2 CHARCOAL VISION GLASS	MFX1 METAL FINISH - CHARCOAL
GTX3 CHARCOAL SPANDREL GLASS	STX1 NATURAL STONE 1 - LOBBY ENTRIES
GTX4 GREY VISION GLASS	STX2 NATURAL STONE 2 - LOBBY ENTRIES
MCA1 METAL CLADDING A1 - TOWER A	

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **SITE ELEVATIONS**

Project No / **217059** Date / **27/09/17**

Author / **JR**

Scale: @ A1 / **1 : 500**

Drawing No. / **TP02.01 -**

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SPRINGVALE ROAD

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Light Blue Box]	LOBBY
[Dark Blue Box]	RESIDENTIAL CARPARK
[Light Green Box]	COMMUNAL SPACE
[Dark Green Box]	RETAIL
[Line with Triangle]	AWNING
[Red Dotted Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
[Red Dashed Line]	EXTENT OF APPLICATION

**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCA2	METAL CLADDING A2 - TOWER A
GTA1	VISION GLASS A1 - TOWER A	MCB1	METAL CLADDING B1 - TOWER B
GT2	SPANDREL GLASS A2 - TOWER A	MCB2	METAL CLADDING B2 - TOWER B
GTB1	VISION GLASS B1 - TOWER B	MCC1	METAL CLADDING C1 - TOWER C
GTB2	SPANDREL GLASS B2 - TOWER B	MCC2	METAL CLADDING C2 - TOWER C
GTC1	VISION GLASS C1 - TOWER C	MCA1	METAL FINISH A1 - TOWER A
GTC2	SPANDREL GLASS C2 - TOWER C	MFB1	METAL FINISH B1 - TOWER B
GTX1	CLEAR VISION GLASS	MFC1	METAL FINISH C1 - TOWER C
GTX2	CHARCOAL VISION GLASS	MFX1	METAL FINISH - CHARCOAL
GTX3	CHARCOAL SPANDREL GLASS	STX1	NATURAL STONE 1 - LOBBY ENTRIES
GTX4	GREY VISION GLASS	STX2	NATURAL STONE 2 - LOBBY ENTRIES
MCA1	METAL CLADDING A1 - TOWER A		

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING A NORTH ELEVATION**

Project No / **217059** Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

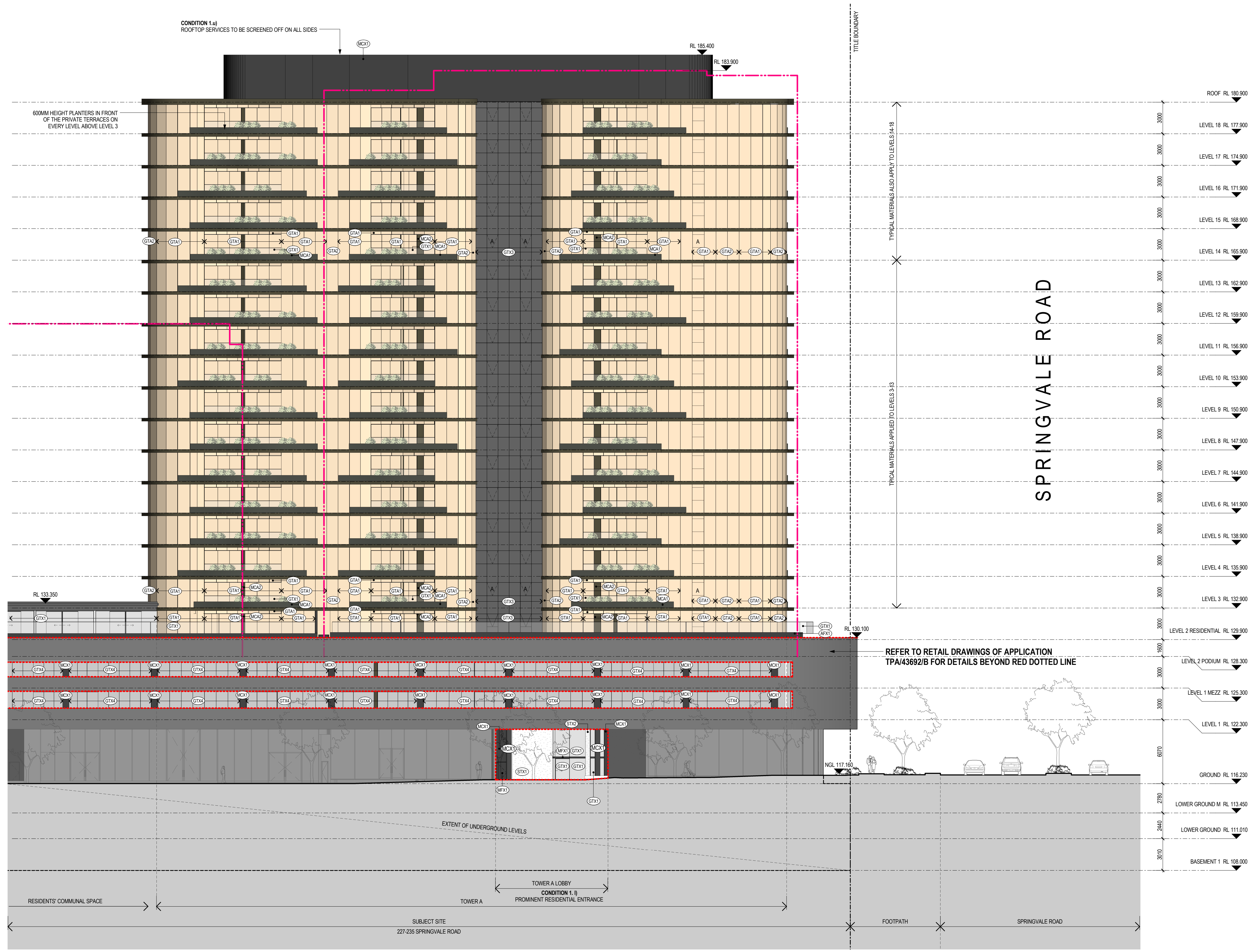
Drawing No. / **TP02.02 -**

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CONDITION 1.4)  
ROOFTOP SERVICES TO BE SCREENED OFF ON ALL SIDES

600MM HEIGHT PLANTERS IN FRONT OF THE PRIVATE TERRACES ON EVERY LEVEL ABOVE LEVEL 3

SPRINGVALE ROAD

REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Light Blue Box]	LOBBY
[Dark Blue Box]	RESIDENTIAL CARPARK
[Light Grey Box]	COMMUNAL SPACE
[Dark Grey Box]	RETAIL
[A]	AWNING
[Red Dotted Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
[Red Dashed Line]	EXTENT OF APPLICATION

**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCA2	METAL CLADDING A2 - TOWER A
GTA1	VISION GLASS A1 - TOWER A	MCB1	METAL CLADDING B1 - TOWER B
GTB1	VISION GLASS B1 - TOWER B	MCB2	METAL CLADDING B2 - TOWER B
GTB2	SPANDREL GLASS B2 - TOWER B	MCC1	METAL CLADDING C1 - TOWER C
GTC1	VISION GLASS C1 - TOWER C	MCC2	METAL CLADDING C2 - TOWER C
GTC2	SPANDREL GLASS C2 - TOWER C	MCX1	METAL CLADDING - CHARCOAL
GTX1	CLEAR VISION GLASS	MFA1	METAL FINISH A1 - TOWER A
GTX2	CHARCOAL VISION GLASS	MFB1	METAL FINISH B1 - TOWER B
GTX3	CHARCOAL SPANDREL GLASS	MFC1	METAL FINISH C1 - TOWER C
GTX4	GREY VISION GLASS	MFX1	METAL FINISH - CHARCOAL
MCA1	METAL CLADDING A1 - TOWER A	STX1	NATURAL STONE 1 - LOBBY ENTRIES
		STX2	NATURAL STONE 2 - LOBBY ENTRIES

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING A SOUTH ELEVATION**

Project No / **217059** Date / **27/09/17**

Author / **AF**

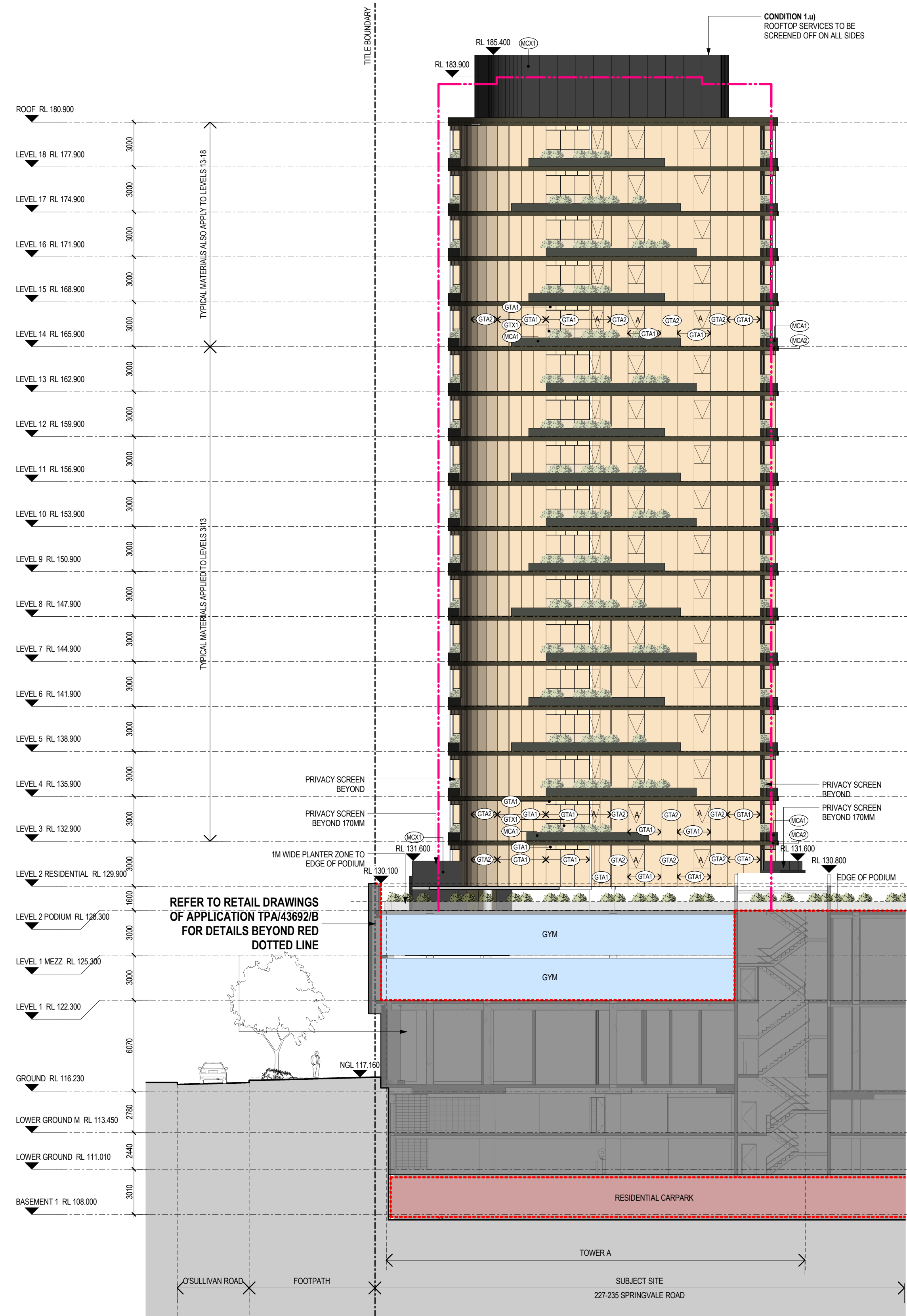
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Drawing No. / **TP02.03 -**

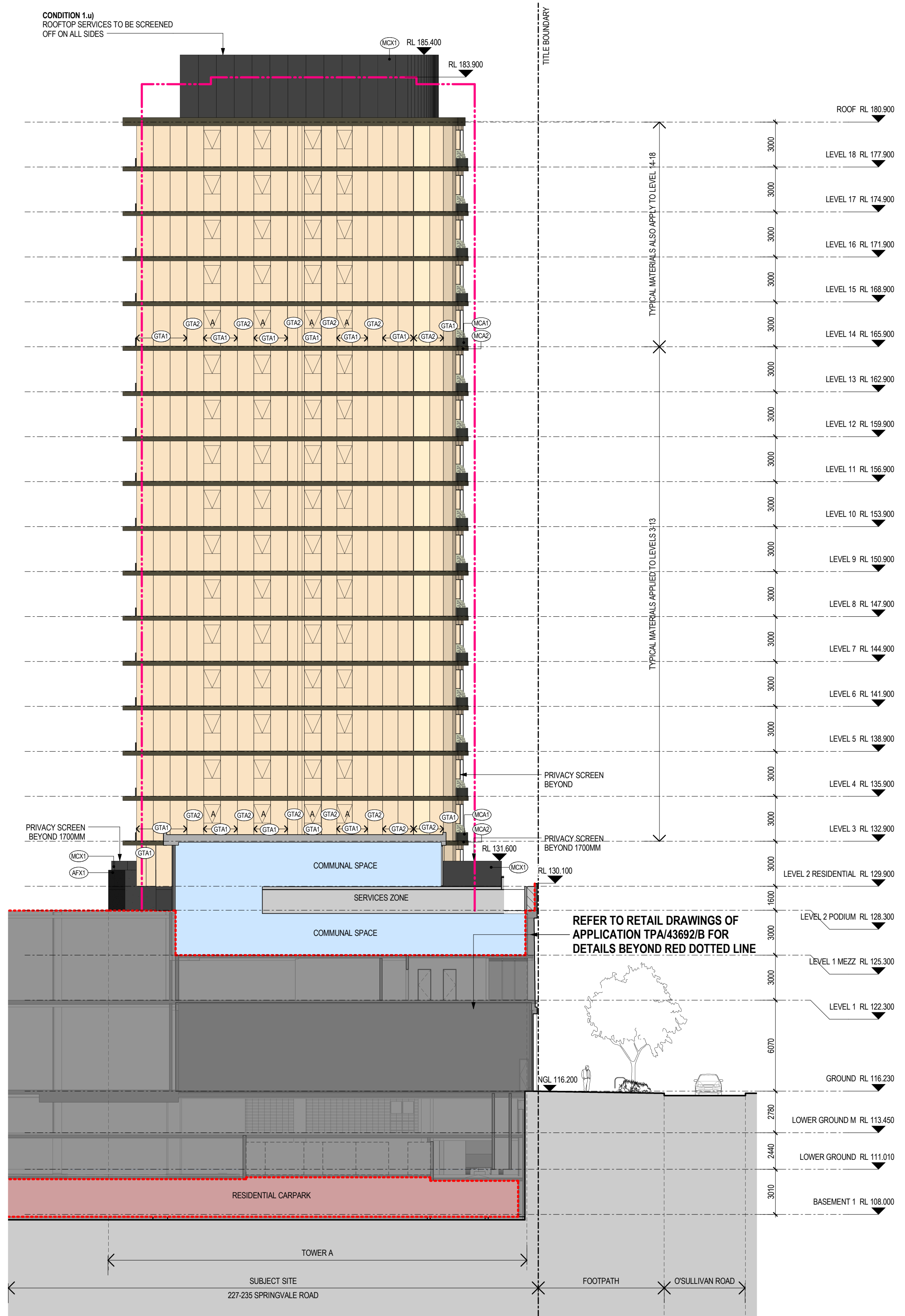
**rothelowman**

Brisbane, Melbourne, Sydney  
www.rothelowman.com.au





**BUILDING A EAST ELEVATION**



**BUILDING A WEST ELEVATION**

**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCA2	METAL CLADDING A2 - TOWER A
GTA1	VISION GLASS A1 - TOWER A	MCB1	METAL CLADDING B1 - TOWER B
GTA2	SPANDREL GLASS A2 - TOWER A	MCB2	METAL CLADDING B2 - TOWER B
GTB1	VISION GLASS B1 - TOWER B	MCC1	METAL CLADDING C1 - TOWER C
GTB2	SPANDREL GLASS B2 - TOWER B	MCC2	METAL CLADDING C2 - TOWER C
GTC1	VISION GLASS C1 - TOWER C	MCA1	METAL CLADDING - CHARCOAL
GTC2	SPANDREL GLASS C2 - TOWER C	MFA1	METAL FINISH A1 - TOWER A
GTX1	CLEAR VISION GLASS	MFB1	METAL FINISH B1 - TOWER B
GTX2	CHARCOAL VISION GLASS	MFC1	METAL FINISH C1 - TOWER C
GTX3	CHARCOAL SPANDREL GLASS	MFX1	METAL FINISH - CHARCOAL
GTX4	GREY VISION GLASS	STX1	NATURAL STONE 1 - LOBBY ENTRIES
MCA1	METAL CLADDING A1 - TOWER A	STX2	NATURAL STONE 2 - LOBBY ENTRIES

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING A EAST & WEST ELEVATIONS**

Project No / **217059** Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP02.04 -**

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**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- RESIDENTIAL CARPARK
- COMMUNAL SPACE
- RETAIL

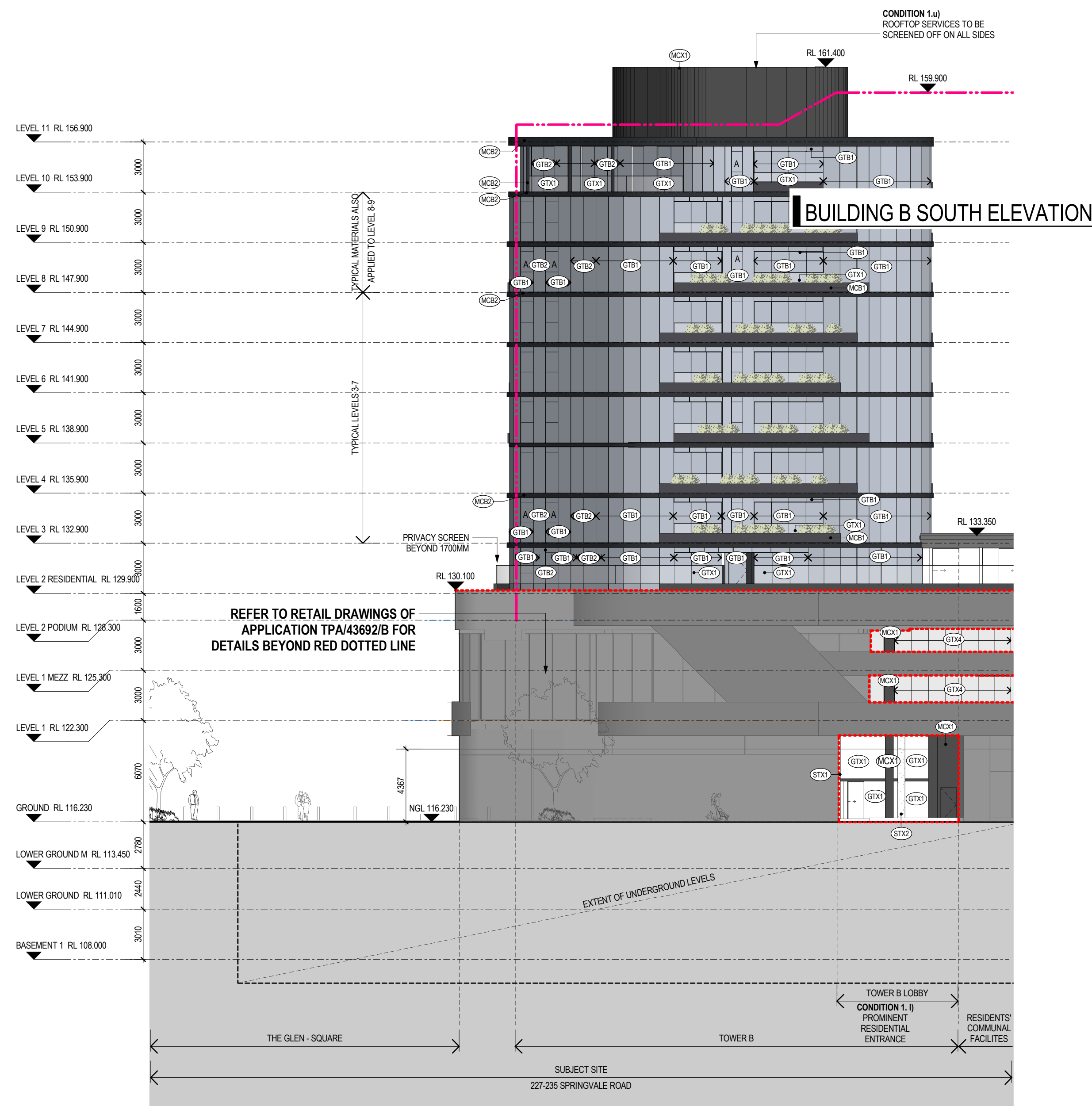
A AWNING

PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA43692/B

EXTENT OF APPLICATION

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**BUILDING B SOUTH ELEVATION**



**BUILDING B NORTH ELEVATION**

**MATERIALS SCHEDULE**

AFX1 APPLIED FINISH - CHARCOAL	MCA2 METAL CLADDING A2 - TOWER A
GTA1 VISION GLASS A1 - TOWER A	MCB1 METAL CLADDING B1 - TOWER B
GTA2 SPANDREL GLASS A2 - TOWER A	MCB2 METAL CLADDING B2 - TOWER B
GTB1 VISION GLASS B1 - TOWER B	MCC1 METAL CLADDING C1 - TOWER C
GTB2 SPANDREL GLASS B2 - TOWER B	MCC2 METAL CLADDING C2 - TOWER C
GTC1 VISION GLASS C1 - TOWER C	MCX1 METAL CLADDING - CHARCOAL
GTC2 SPANDREL GLASS C2 - TOWER C	MFA1 METAL FINISH A1 - TOWER A
GTX1 CLEAR VISION GLASS	MFB1 METAL FINISH B1 - TOWER B
GTX2 CHARCOAL VISION GLASS	MFC1 METAL FINISH C1 - TOWER C
GTX3 CHARCOAL SPANDREL GLASS	MFX1 METAL FINISH - CHARCOAL
GTX4 GREY VISION GLASS	STX1 NATURAL STONE 1 - LOBBY ENTRIES
MCA1 METAL CLADDING A1 - TOWER A	STX2 NATURAL STONE 2 - LOBBY ENTRIES

**PERMIT ISSUE**

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Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING B NORTH & SOUTH ELEVATIONS**

Project No / **217059** Date / **27/09/17** Author / **AF** Scale: @ A1 / **1 : 200**

Drawing No. / **TP02.05 -**

**rothelawman**

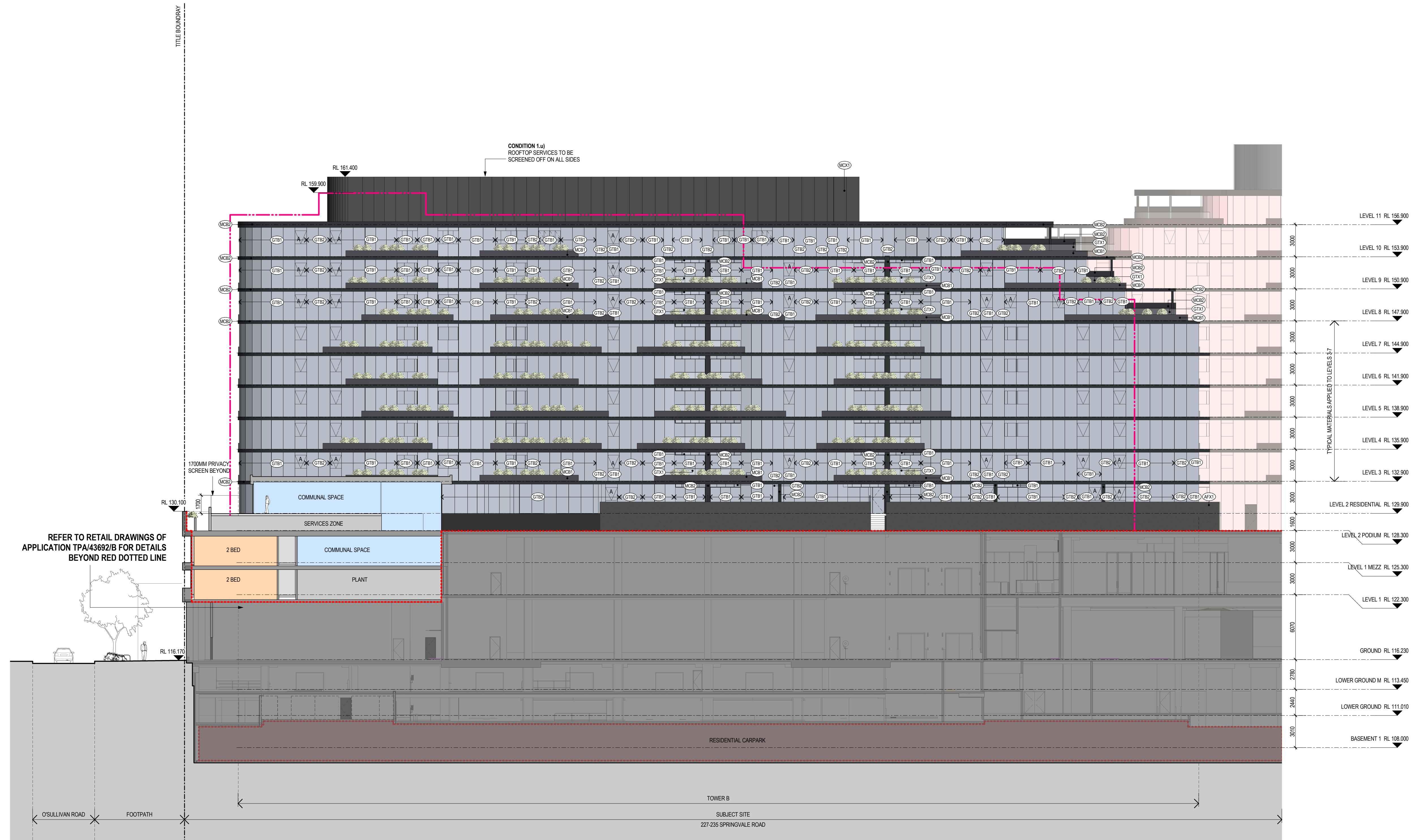
Brisbane, Melbourne, Sydney  
www.rothelawman.com.au

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- RESIDENTIAL CARPARK
- COMMUNAL SPACE
- RETAIL
- A AWNING
- PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
- EXTENT OF APPLICATION

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**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCX1	METAL CLADDING - CHARCOAL
GTA1	VISION GLASS A1 - TOWER A	MFA1	METAL FINISH A1 - TOWER A
GTB1	VISION GLASS B1 - TOWER B	MFB1	METAL FINISH B1 - TOWER B
GTC1	VISION GLASS C1 - TOWER C	MFC1	METAL FINISH C1 - TOWER C
GTA2	SPANDREL GLASS A2 - TOWER A	STX1	NATURAL STONE 1 - LOBBY ENTRIES
GTB2	SPANDREL GLASS B2 - TOWER B	STX2	NATURAL STONE 2 - LOBBY ENTRIES
GTC2	SPANDREL GLASS C2 - TOWER C		
GTX1	CLEAR VISION GLASS		
GTX2	CHARCOAL VISION GLASS		
GTX3	CHARCOAL SPANDREL GLASS		
GTX4	GREY VISION GLASS		
MCA1	METAL CLADDING A1 - TOWER A		
MCB1	METAL CLADDING B1 - TOWER B		
MCC1	METAL CLADDING C1 - TOWER C		
MCA2	METAL CLADDING A2 - TOWER A		
MCB2	METAL CLADDING B2 - TOWER B		
MCC2	METAL CLADDING C2 - TOWER C		

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING B EAST ELEVATION**

Project No / **217059** Date / **27/09/17**

Author / **AF**

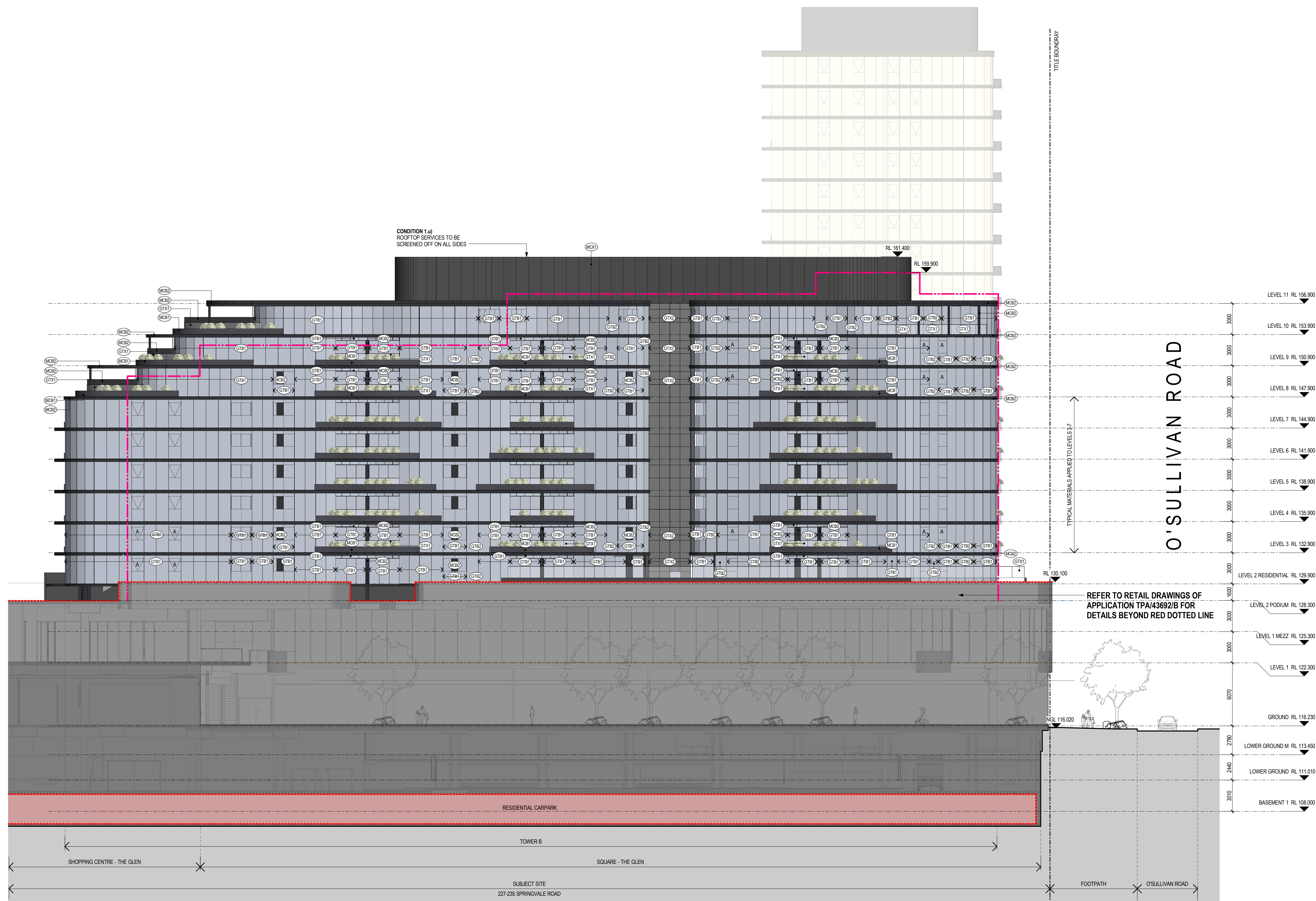
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Drawing No. / **TP02.06 -**

**rothelowman**

Brisbane, Melbourne, Sydney  
www.rothelowman.com.au

26/09/2017 9:00:11 PM



**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCA2	METAL CLADDING A2 - TOWER A
GTA1	VISION GLASS A1 - TOWER A	MCB1	METAL CLADDING B1 - TOWER B
GA2	SPANDREL GLASS A2 - TOWER A	MCB2	METAL CLADDING B2 - TOWER B
GTB1	VISION GLASS B1 - TOWER B	MCC1	METAL CLADDING C1 - TOWER C
GTB2	SPANDREL GLASS B2 - TOWER B	MCC2	METAL CLADDING C2 - TOWER C
GTC1	VISION GLASS C1 - TOWER C	MCA1	METAL FINISH A1 - TOWER A
GTC2	SPANDREL GLASS C2 - TOWER C	MFB1	METAL FINISH B1 - TOWER B
GTX1	CLEAR VISION GLASS	MFC1	METAL FINISH C1 - TOWER C
GTX2	CHARCOAL VISION GLASS	MFX1	METAL FINISH - CHARCOAL
GTX3	CHARCOAL SPANDREL GLASS	STX1	NATURAL STONE 1 - LOBBY ENTRIES
GTX4	GREY VISION GLASS	STX2	NATURAL STONE 2 - LOBBY ENTRIES
MCA1	METAL CLADDING A1 - TOWER A		

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Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING B WEST ELEVATION**

Project No / **217059** Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP02.07 -**

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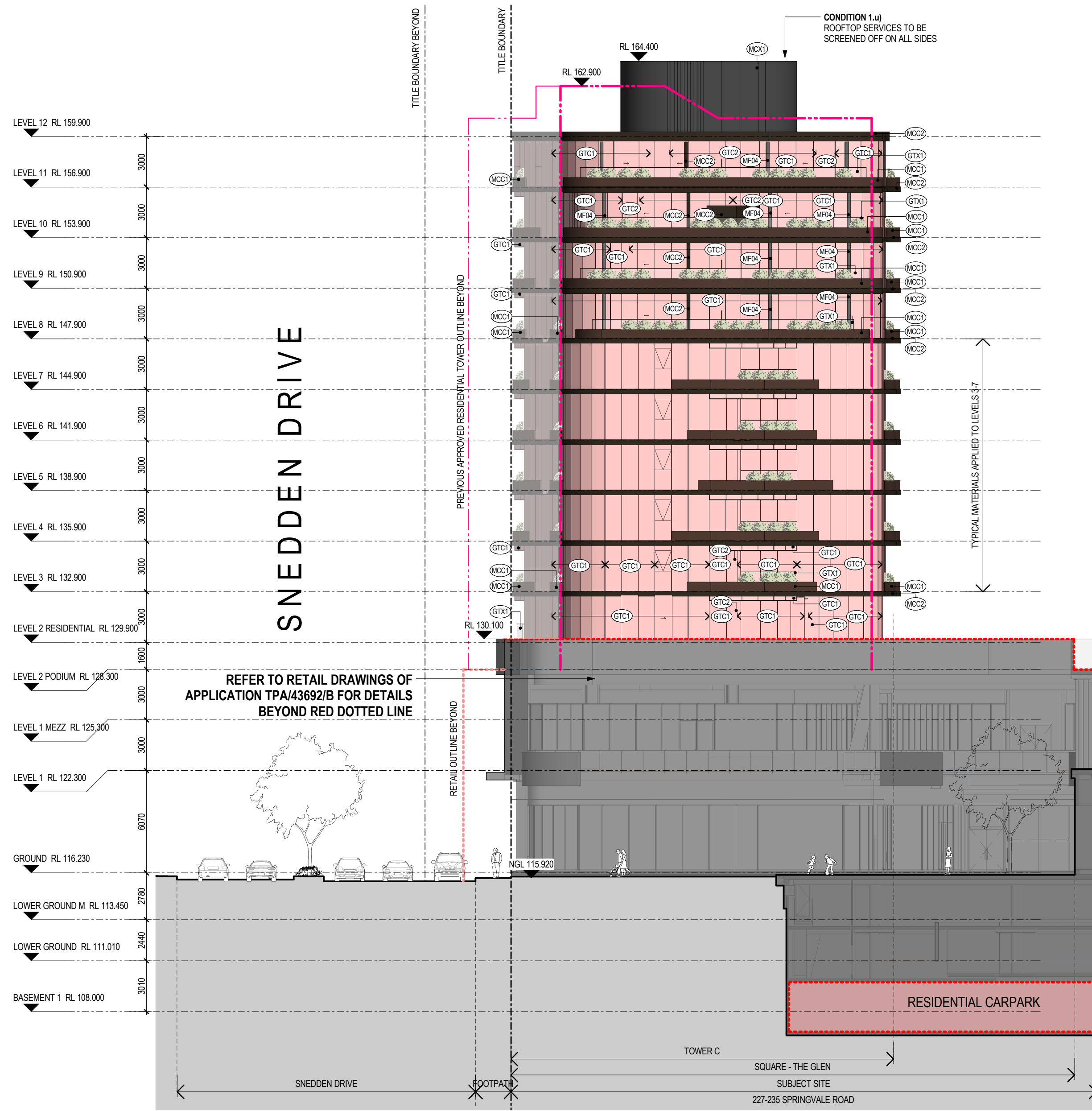
**LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	1 BEDROOM
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<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	3 BEDROOM
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	LOBBY
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	RESIDENTIAL CARPARK
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	COMMUNAL SPACE
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	RETAIL
<span style="display:inline-block; width:10px; height:10px; border-bottom:1px dashed black;"></span>	A AWNING
<span style="display:inline-block; width:10px; height:10px; border-bottom:1px dashed red;"></span>	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
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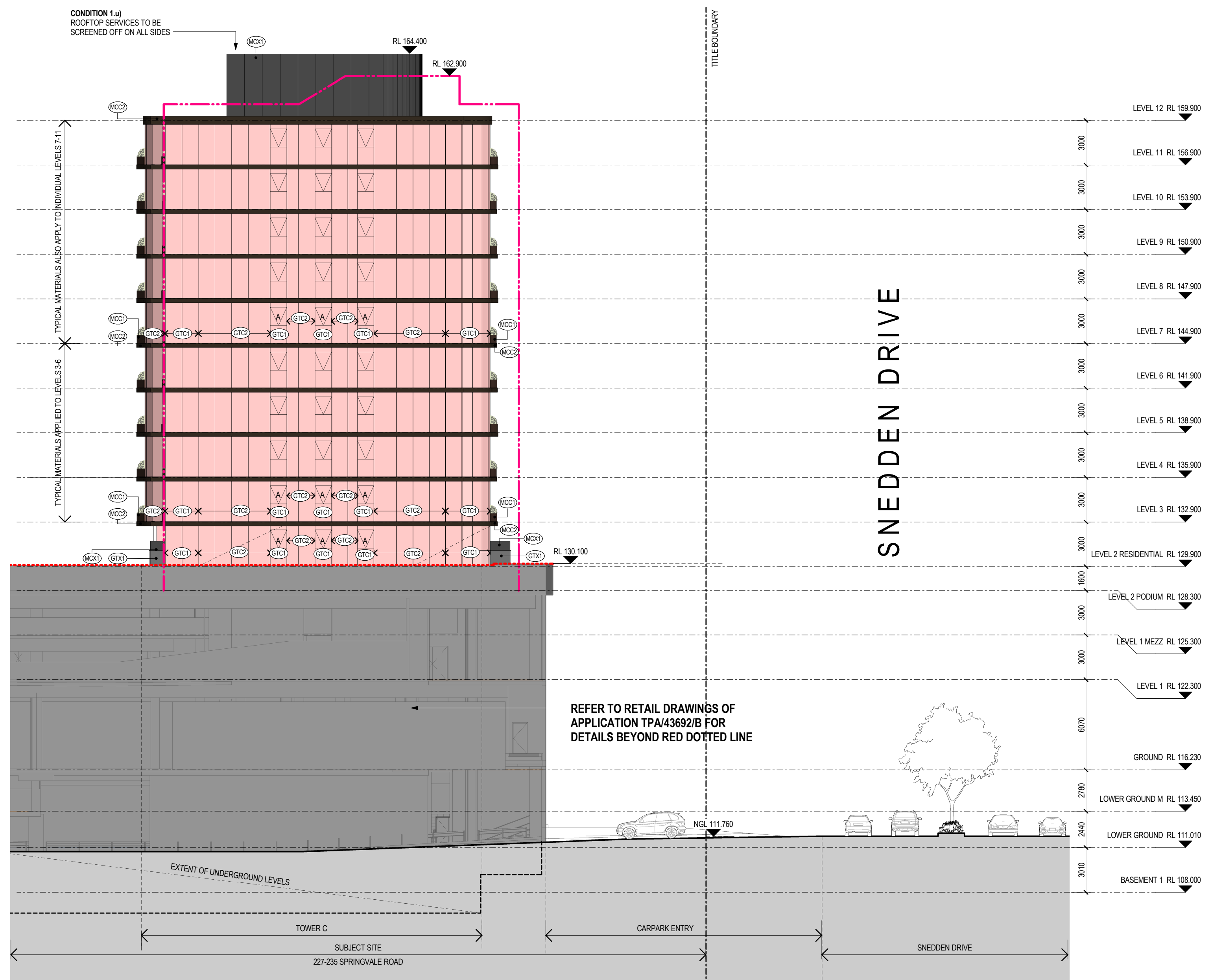
**rothelowman**

Brisbane, Melbourne, Sydney  
www.rothelowman.com.au





**BUILDING C SOUTH ELEVATION**



**BUILDING C NORTH ELEVATION**

**MATERIALS SCHEDULE**

AFX1 APPLIED FINISH - CHARCOAL	MCA2 METAL CLADDING A2 - TOWER A
GTA1 VISION GLASS A1 - TOWER A	MCB1 METAL CLADDING B1 - TOWER B
GTA2 SPANDREL GLASS A2 - TOWER A	MCB2 METAL CLADDING B2 - TOWER B
GTB1 VISION GLASS B1 - TOWER B	MCC1 METAL CLADDING C1 - TOWER C
GTB2 SPANDREL GLASS B2 - TOWER B	MCC2 METAL CLADDING C2 - TOWER C
GTC1 VISION GLASS C1 - TOWER C	MCA1 METAL CLADDING A1 - TOWER A
GTC2 SPANDREL GLASS C2 - TOWER C	MCA2 METAL CLADDING A2 - TOWER A
GTX1 CLEAR VISION GLASS	MFB1 METAL FINISH B1 - TOWER B
GTX2 CHARCOAL VISION GLASS	MFB2 METAL FINISH B2 - TOWER B
GTX3 CHARCOAL SPANDREL GLASS	MFC1 METAL FINISH C1 - TOWER C
GTX4 GREY VISION GLASS	MFC2 METAL FINISH C2 - TOWER C
MCA1 METAL CLADDING A1 - TOWER A	MFX1 METAL FINISH - CHARCOAL
	MFX2 METAL FINISH - CHARCOAL
	STX1 NATURAL STONE 1 - LOBBY ENTRIES
	STX2 NATURAL STONE 2 - LOBBY ENTRIES

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING C NORTH & SOUTH ELEVATIONS**

Project No / **217059** Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP02.08 -**

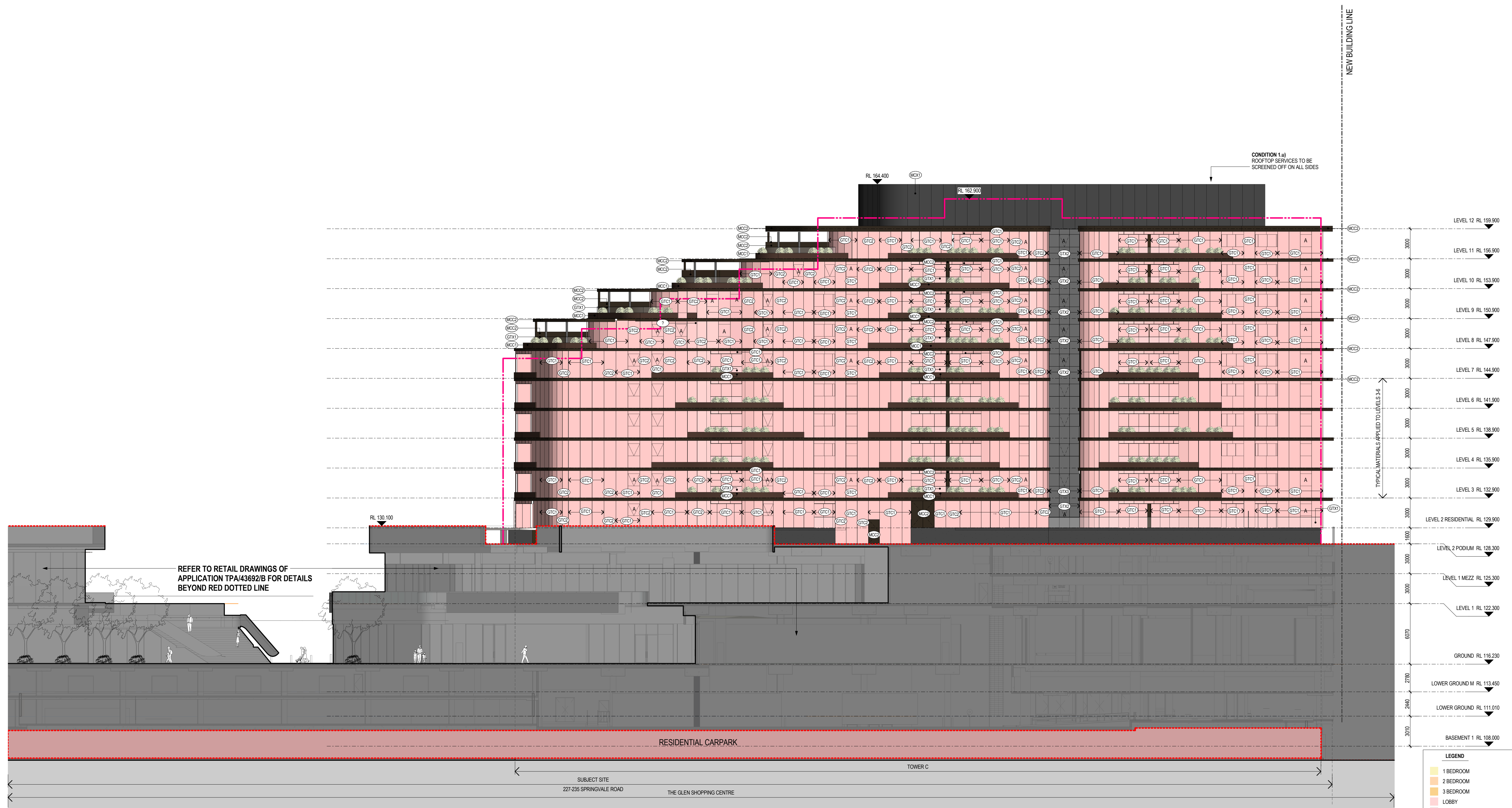
**rothelawman**

Brisbane, Melbourne, Sydney  
www.rothelawman.com.au

**LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	1 BEDROOM
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	2 BEDROOM
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	3 BEDROOM
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	LOBBY
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	RESIDENTIAL CARPARK
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	COMMUNAL SPACE
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	RETAIL
<span style="display:inline-block; width:10px; height:10px; border:1px dashed black;"></span>	A AWNING
<span style="display:inline-block; width:10px; height:10px; border:1px dashed red;"></span>	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
<span style="display:inline-block; width:10px; height:10px; border:1px dashed red;"></span>	EXTENT OF APPLICATION





**MATERIALS SCHEDULE**

AFX1	APPLIED FINISH - CHARCOAL	MCA2	METAL CLADDING A2 - TOWER A
GTA1	VISION GLASS A1 - TOWER A	MCB1	METAL CLADDING B1 - TOWER B
GTA2	SPANDREL GLASS A2 - TOWER A	MCB2	METAL CLADDING B2 - TOWER B
GTB1	VISION GLASS B1 - TOWER B	MCC1	METAL CLADDING C1 - TOWER C
GTB2	SPANDREL GLASS B2 - TOWER B	MCC2	METAL CLADDING C2 - TOWER C
GTC1	VISION GLASS C1 - TOWER C	MCA1	METAL CLADDING A1 - TOWER A
GTC2	SPANDREL GLASS C2 - TOWER C	MFA1	METAL FINISH A1 - TOWER A
GTX1	CLEAR VISION GLASS	MFB1	METAL FINISH B1 - TOWER B
GTX2	CHARCOAL VISION GLASS	MFC1	METAL FINISH C1 - TOWER C
GTX3	CHARCOAL SPANDREL GLASS	MF1	METAL FINISH - CHARCOAL
GTX4	GREY VISION GLASS	STX1	NATURAL STONE 1 - LOBBY ENTRIES
MCA1	METAL CLADDING A1 - TOWER A	STX2	NATURAL STONE 2 - LOBBY ENTRIES

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING C EAST ELEVATION**

Project No / **217059** Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

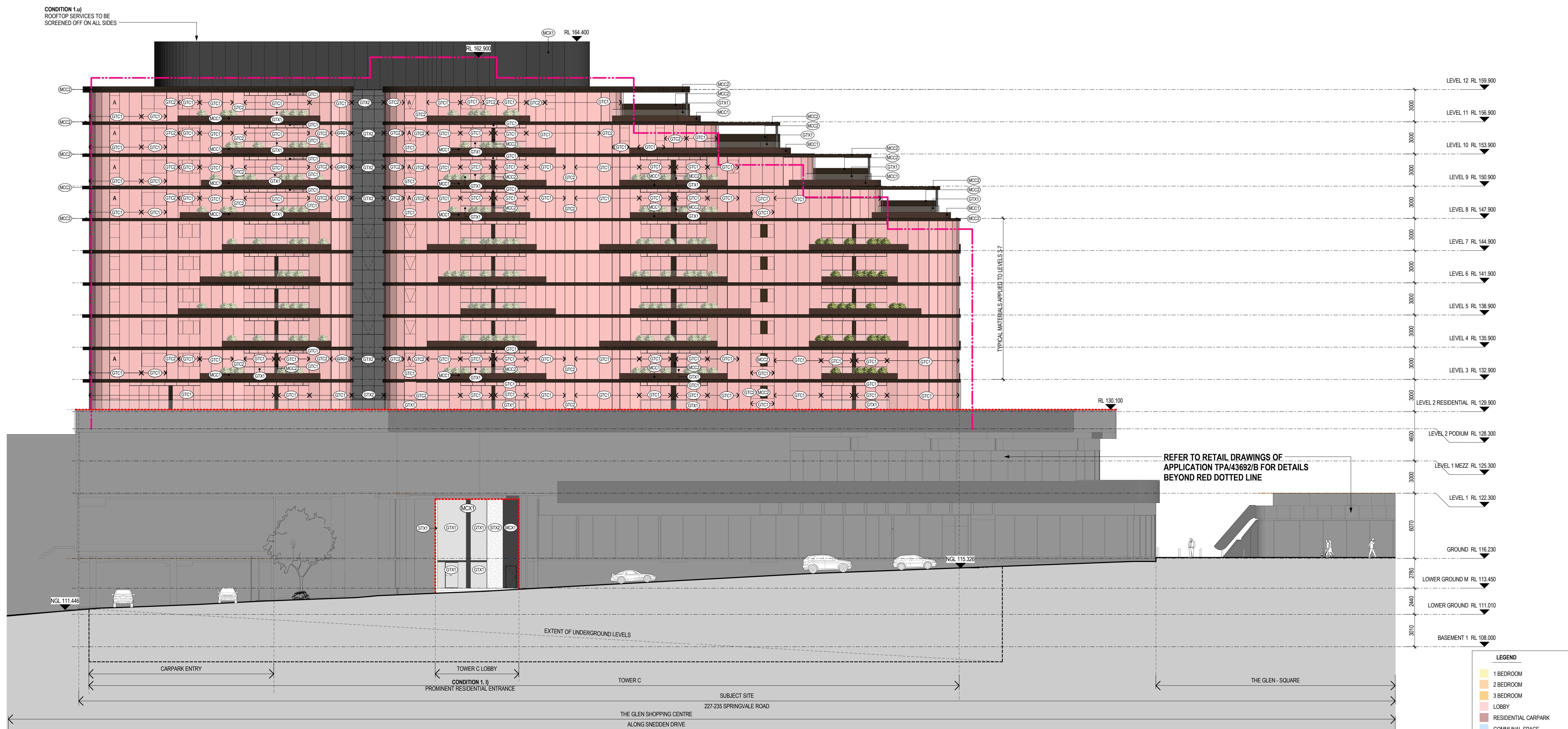
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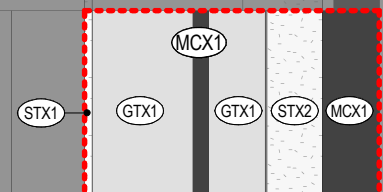
CONDITION 1.ii)  
ROOFTOP SERVICES TO BE  
SCREENED OFF ON ALL SIDES

RL 164.400

RL 162.900

RL 130.100

REFER TO RETAIL DRAWINGS OF  
APPLICATION TPA/43692/B FOR DETAILS  
BEYOND RED DOTTED LINE



EXTENT OF UNDERGROUND LEVELS

CARPARK ENTRY

TOWER C LOBBY

CONDITION 1.ii)  
PROMINENT RESIDENTIAL ENTRANCE

TOWER C

SUBJECT SITE

THE GLEN SHOPPING CENTRE  
227-235 SPRINGVALE ROAD  
Glen Waverley

THE GLEN - SQUARE

### MATERIALS SCHEDULE

- |                                  |                                      |
|----------------------------------|--------------------------------------|
| AFX1 APPLIED FINISH - CHARCOAL   | MCA2 METAL CLADDING A2 - TOWER A     |
| GTA1 VISION GLASS A1 - TOWER A   | MCB1 METAL CLADDING B1 - TOWER B     |
| ATA2 SPANDREL GLASS A2 - TOWER A | MCB2 METAL CLADDING B2 - TOWER B     |
| GTB1 VISION GLASS B1 - TOWER B   | MCC1 METAL CLADDING C1 - TOWER C     |
| GTB2 SPANDREL GLASS B2 - TOWER B | MCC2 METAL CLADDING C2 - TOWER C     |
| GTC1 VISION GLASS C1 - TOWER C   | MCA1 METAL CLADDING - CHARCOAL       |
| GTC2 SPANDREL GLASS C2 - TOWER C | MFA1 METAL FINISH A1 - TOWER A       |
| GTX1 CLEAR VISION GLASS          | MFB1 METAL FINISH B1 - TOWER B       |
| GTX2 CHARCOAL VISION GLASS       | MFC1 METAL FINISH C1 - TOWER C       |
| GTX3 CHARCOAL SPANDREL GLASS     | MFX1 METAL FINISH - CHARCOAL         |
| GTX4 GREY VISION GLASS           | STX1 NATURAL STONE 1 - LOBBY ENTRIES |
| MCA1 METAL CLADDING A1 - TOWER A | STX2 NATURAL STONE 2 - LOBBY ENTRIES |

### PERMIT ISSUE

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **BUILDING C WEST ELEVATION**

Project No / **217059** Date / **27/09/17**

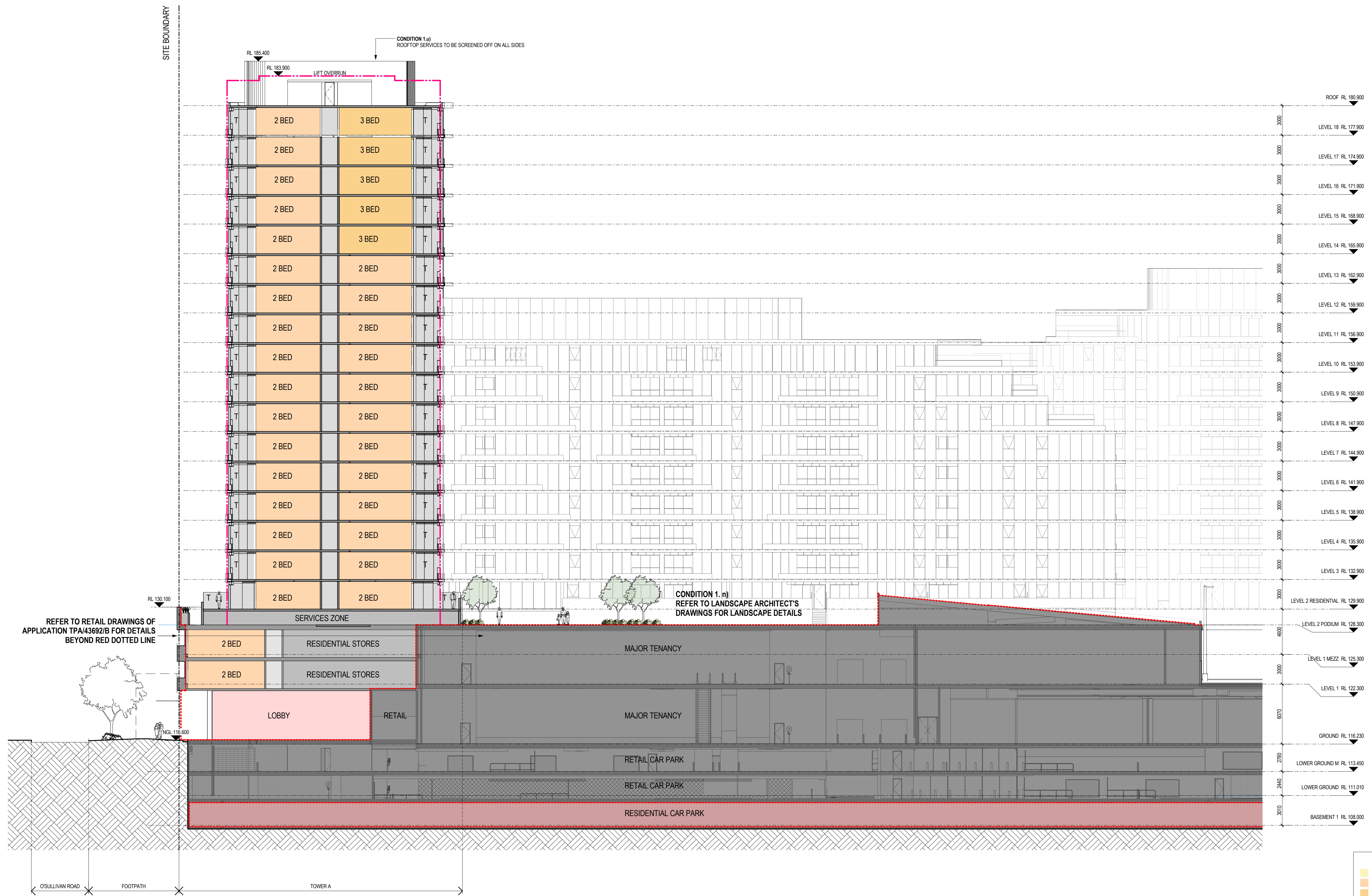
Author / **AF**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP02.10 -**

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**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- RESIDENTIAL CARPARK
- COMMUNAL SPACE
- RETAIL
- A AWNING
- PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
- EXTENT OF APPLICATION

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **SECTION A - BUILDING A LOBBY**

Project No / **217059**

Date / **27/09/17**

Author / **AF**

Scale: @ A1 / **1 : 200**

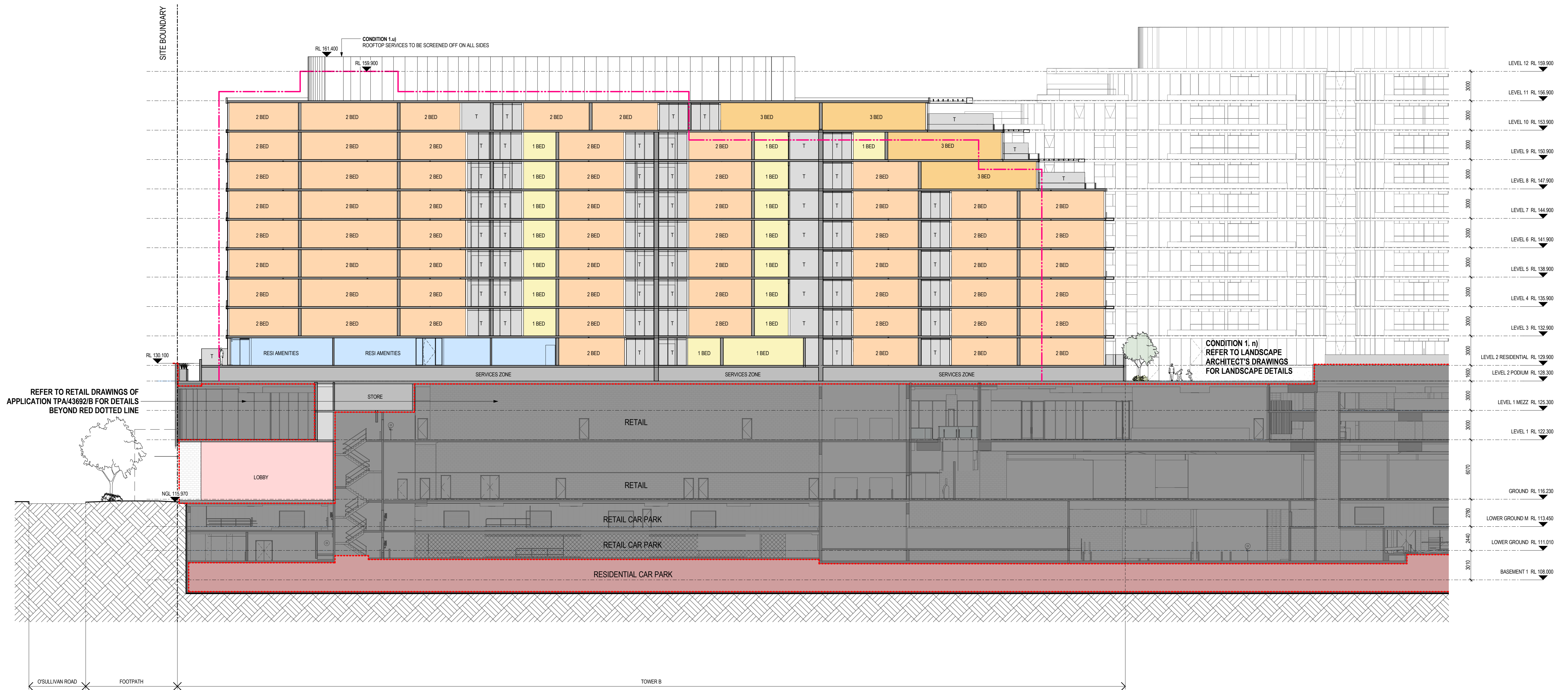
Drawing No. / **TP03.01 -**

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REFER TO RETAIL DRAWINGS OF APPLICATION TPA/43692/B FOR DETAILS BEYOND RED DOTTED LINE

CONDITION 1. n)  
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPE DETAILS

**LEGEND**

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- LOBBY
- RESIDENTIAL CARPARK
- COMMUNAL SPACE
- RETAIL
- A AWNING
- PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA-43692/B
- EXTENT OF APPLICATION

**PERMIT ISSUE**

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **SECTION B - BUILDING B LOBBY**

Project No / **217059** Date / **27/09/17**

Author / **MR**

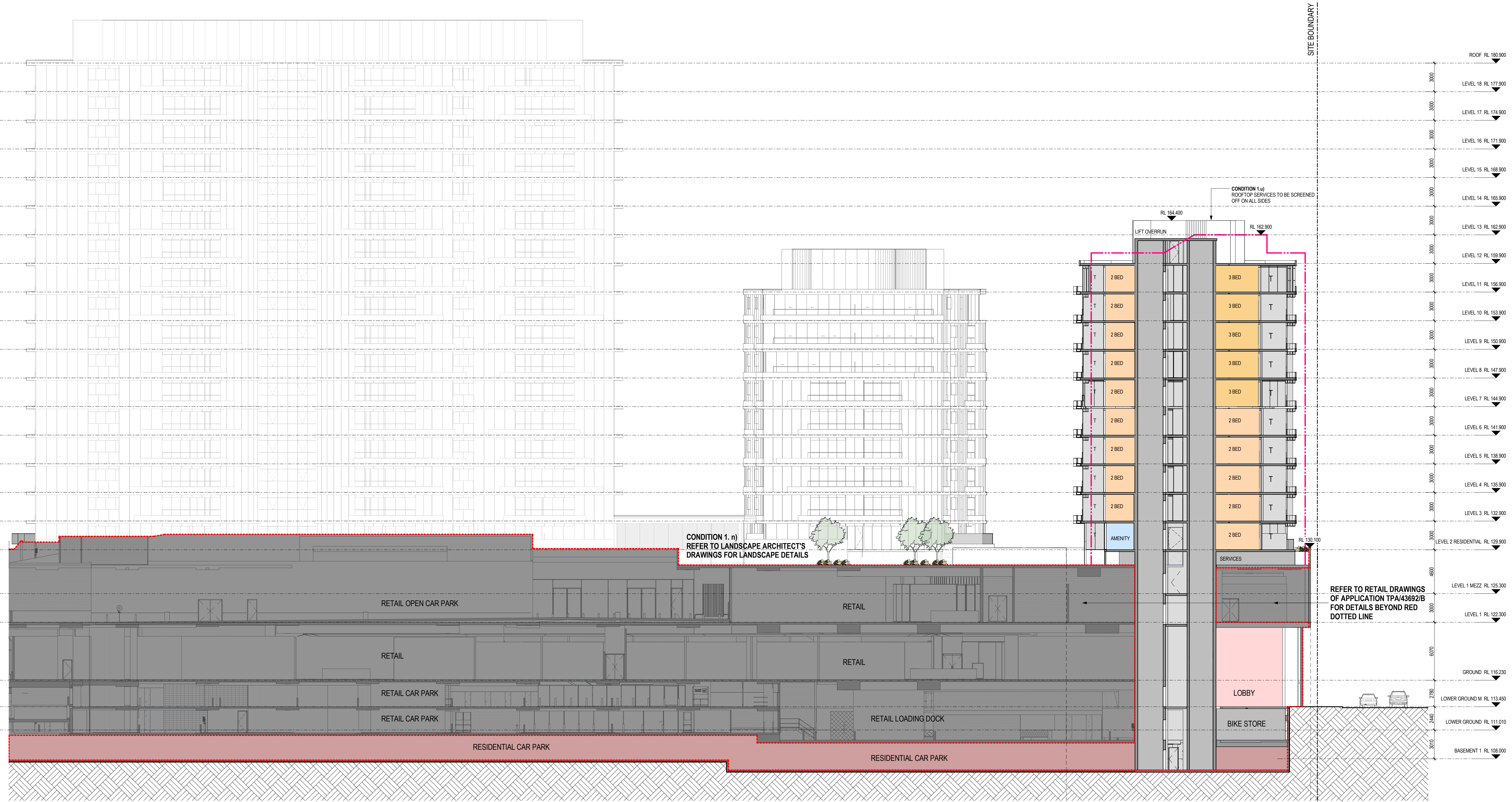
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Drawing No. / **TP03.02 -**

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CONDITION 1. n)  
REFER TO LANDSCAPE ARCHITECT'S  
DRAWINGS FOR LANDSCAPE DETAILS

CONDITION 1. u)  
ROOFTOP SERVICES TO BE SCREENED  
OFF ON ALL SIDES

REFER TO RETAIL DRAWINGS  
OF APPLICATION TPA/43692/B  
FOR DETAILS BEYOND RED  
DOTTED LINE

LEGEND	
[Yellow Box]	1 BEDROOM
[Orange Box]	2 BEDROOM
[Light Orange Box]	3 BEDROOM
[Pink Box]	LOBBY
[Red Box]	RESIDENTIAL CARPARK
[Blue Box]	COMMUNAL SPACE
[Grey Box]	RETAIL
[A]	AWNING
[Red Dotted Line]	PREVIOUSLY APPROVED RESIDENTIAL TOWER OUTLINE PERMIT NO. TPA/43692/B
[Red Dotted Line]	EXTENT OF APPLICATION

## PERMIT ISSUE

Revisions / 27.09.17 ISSUED FOR TOWN PLANNING AMENDMENT MD

Project / **The Glen - Residential Towers**  
227 - 235 Springvale Rd  
Glen Waverley

Drawing / **SECTION C - BUILDING C LOBBY**

Project No / **217059** Date / **27/09/17** Author / **MR** Scale: @ A1 / **1 : 200**

Drawing No. / **TP03.03 -**

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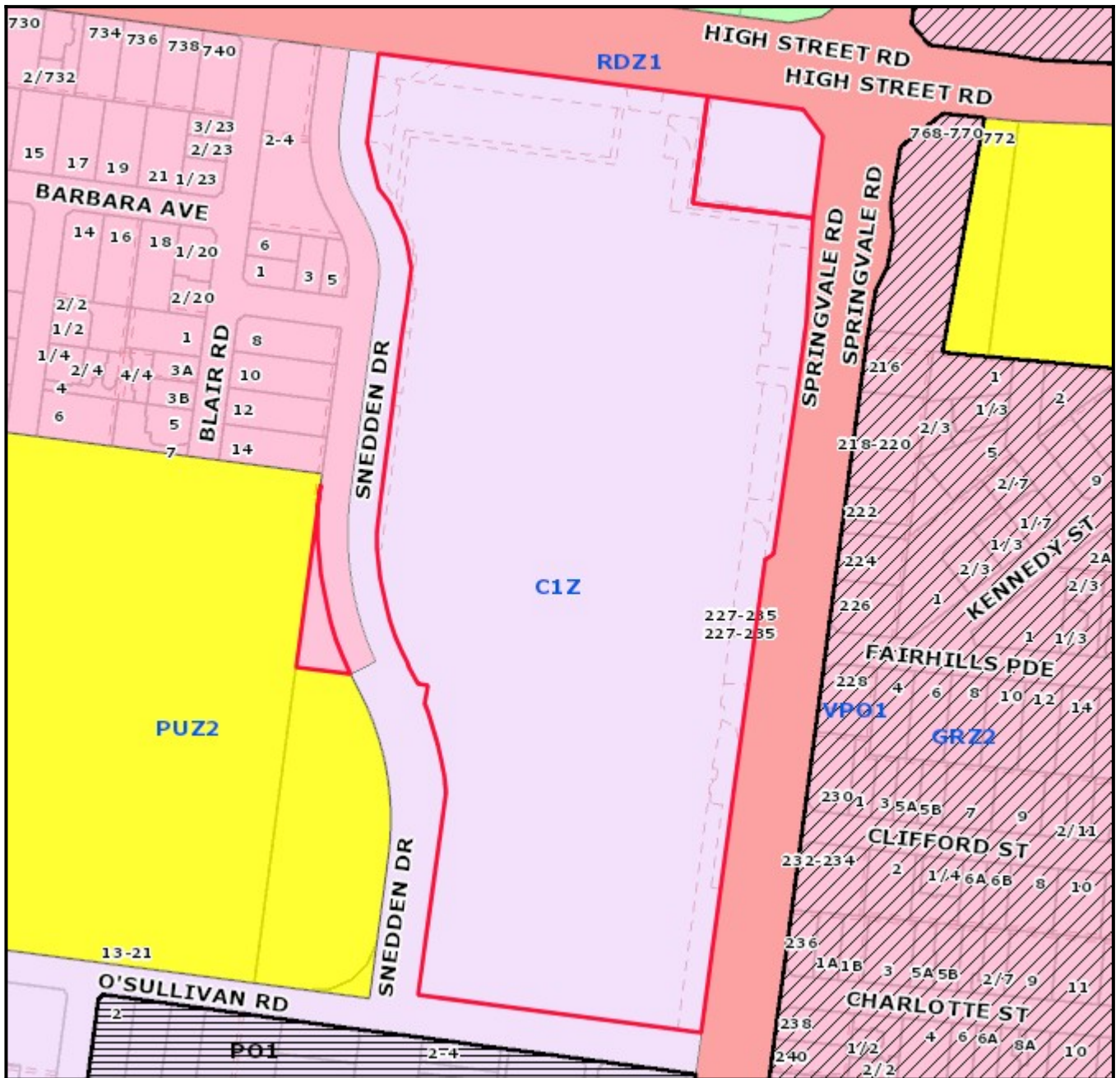
Attachment 2: The Glen 227-235 Springvale Road, Glen Waverley







# Planning Overlays and Zones



**Legend**

C1Z	GRZ2	PUZ1	PUZ7	SUZ3	Planning Overlay	HO
C2Z	IN1Z	PUZ2	PUZ3	SUZ4	LSIO / SBO	IPO
CA	MUZ	PUZ3	PUZ4	SUZ5	NCO	DPO
CDZ1	NRZ1	PUZ4	PUZ5	SUZ6	PAO	PO
GRZ1	PCRZ	PUZ5	PUZ6	SUZ1	EAO	
	PPRZ	PUZ6	SUZ2	SUZ2	DDO	
				UFZ	VPO	



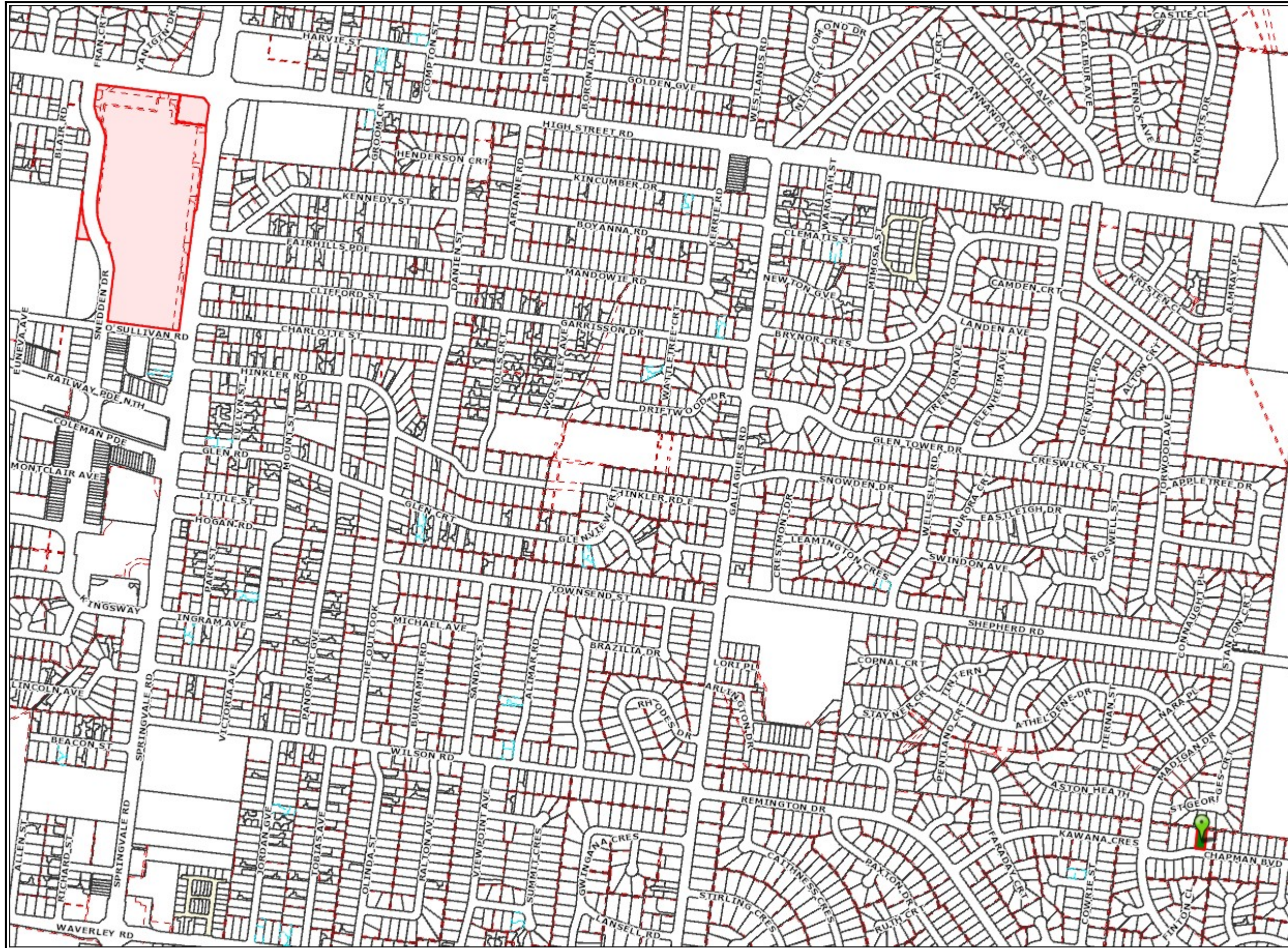
**Address**

227-235 Springvale Road GLEN WAVERLEY VIC 3150



# Objector Map

Subject land shaded light red.  
Objector property shaded dark green and pinpointed.



1:7500



- Railway lines
- Aerial Roads
- Aerial Roads
- Local Roads
- Proposed Roads
- Green Crown Open Space
- Light Green Monash Reserve / Open Space
- Dark Green Non Monash Open Space
- Light Blue Pipe Track
- Light Green Public Golf Course
- Light Green Public Golf Course Crown Open Space
- Yellow Monash Region
- Light Blue Lease Free Areas
- Red Pin Property & Address No.
- Yellow Common Property

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