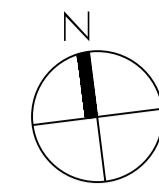


PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE

DRAWING TITLE: **SITE PLAN, AREA ANALYSIS**
 DRAWN BY: **MATTHEWA / SL**
 DATE: **13TH APRIL 2018**
 SCALE: **1: 200**

LEVEL 1 / 173 UPPER HEIDELBERG ROAD
 IVANHOE 3079
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ALL LEVELS ARE TO
 AUSTRALIAN HEIGHT DATUM

DRAWING SCHEDULE

TPA01	SITE PLAN, AREA ANALYSIS	1:200	TPA11	CLAUSE 58.01 ASSESSMENT	1:100
TPA02	GROUND FLOOR PLAN	1:100	TPA12	CLAUSE 58.01 ASSESSMENT	1:100
TPA03	FIRST FLOOR PLAN	1:100	TPA13	CLAUSE 58.01 ASSESSMENT	1:100
TPA04	SECOND FLOOR PLAN	1:100	TPA14	CLAUSE 58.01 ASSESSMENT	1:100
TPA05	THIRD FLOOR PLAN	1:100	TPA15	LANDSCAPE PLAN	1:100
TPA06	ELEVATIONS, MATERIALS AND FINISHES SCHEDULE	1:100	TPA16	LANDSCAPE PLAN	1:100
TPA07	ELEVATIONS, MATERIALS AND FINISHES SCHEDULE	1:100			
TPA08	DETAILED SITE ANALYSIS - NEIGHBOURHOOD AND SITE DESCRIPTION	1:300			
TPA09	DETAILED SITE ANALYSIS - DESIGN RESPONSE PLAN	1:300			
TPA10	DETAILED SHADOW ANALYSIS - 9.00AM, 12NOON, 3.00PM SEPTEMBER 22	1:200			

GENERAL AREA ANALYSIS

Site Area 8551 m² overall
 No. Of Proposed Apartments 27 no. apartments
 Overall Building Area (excludes balconies and carpark) 2232.3m²
 Site Building Footprint 765.8m² 89.6%
 Impervious Paving Area 10.1%
 Permeable Area 0.3%

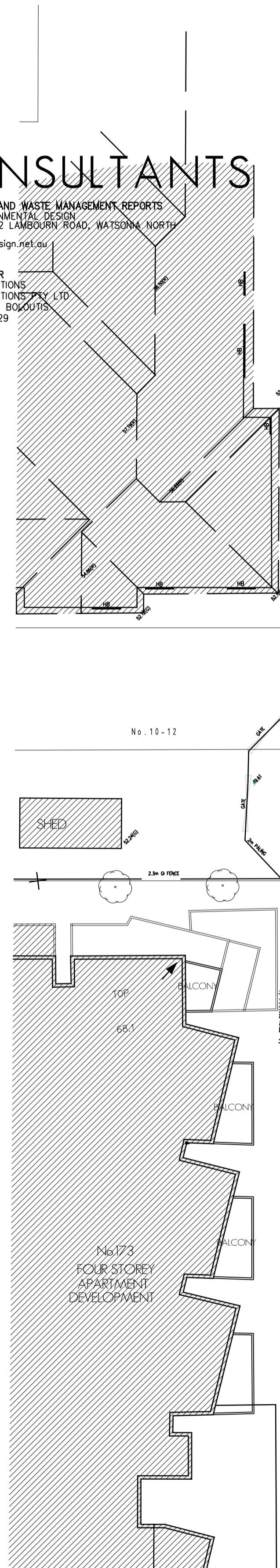
DETAILED AREA ANALYSIS

Unit No	Floor	Description	Area	Balcony
Apartment G.1	GROUND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	73.6M ² 7.950	9.2M ²
Apartment G.2	GROUND FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, L'DRY, BALCONY, 1 CAR SPACE	50.3M ² 5.650	12.4M ²
Apartment G.3	GROUND FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, STUDY, L'DRY, BALCONY, 1 CAR SPACE	54.4M ² 6.050	14.6M ²
Apartment 1.1	FIRST FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	88.4M ² 9.550	9.9M ²
Apartment 1.2	FIRST FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, L'DRY, BALCONY, 1 CAR SPACE	56.4M ² 6.150	13.4M ²
Apartment 1.3	FIRST FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, 2 BALCONYS, 1 CAR SPACE	83.9M ² 9.050	9.9M ²
Apartment 1.4	FIRST FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	67.9M ² 7.350	8.1M ²
Apartment 1.5	FIRST FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	67.9M ² 7.350	8.1M ²
Apartment 1.6	FIRST FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	88.4M ² 9.550	11.5M ²
Apartment 1.7	FIRST FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, L'DRY, BALCONY, 1 CAR SPACE	56.4M ² 6.150	13.2M ²
Apartment 1.8	FIRST FLOOR LEVEL	2 BEDROOM, 2 BATH ROOM, L'DRY, 2 BALCONYS, 1 CAR SPACE	83.9M ² 9.050	11.9M ²
Apartment 2.1	SECOND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	88.4M ² 9.550	9.9M ²
Apartment 2.2	SECOND FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, L'DRY, BALCONY, 1 CAR SPACE	56.4M ² 6.150	13.4M ²
Apartment 2.3	SECOND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, 2 BALCONYS, 1 CAR SPACE	83.9M ² 9.050	9.9M ²
Apartment 2.4	SECOND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	67.9M ² 7.350	8.1M ²
Apartment 2.5	SECOND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	67.9M ² 7.350	8.1M ²
Apartment 2.6	SECOND FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	88.4M ² 9.550	11.5M ²
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Apartment 2.8	SECOND FLOOR LEVEL	2 BEDROOM, 2 BATH ROOM, L'DRY, 2 BALCONYS, 1 CAR SPACE	83.9M ² 9.050	11.9M ²
Apartment 3.1	THIRD FLOOR LEVEL	2 BEDROOMS, 2 BATH ROOMS, L'DRY, BALCONY, 1 CAR SPACE	88.4M ² 9.550	9.9M ²
Apartment 3.2	THIRD FLOOR LEVEL	1 BEDROOM, 1 BATH ROOM, L'DRY, BALCONY, 1 CAR SPACE	56.4M ² 6.150	13.4M ²
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CONSULTANTS

ENERGY RATING AND WASTE MANAGEMENT REPORTS
 NORTHERN ENVIRONMENTAL DESIGN
 SITE 1/LEVEL 1, 2 LAMBOURN ROAD, WATSONIA NORTH
 PH: 9444 8732
 EMAIL: info@nedesign.net.au

TRAFFIC ENGINEER
 EB TRAFFIC SOLUTIONS
 EB TRAFFIC SOLUTIONS PTY LTD
 ATTENTION: EVAN BOUKOUTIS
 PH: 0408 395 729



WASTE MANAGEMENT

THE PROPOSED DESIGN PROVIDES FOR A GARAGE STORAGE AND COLLECTION AREA IN THE NORTH-WESTERN CORNER OF THE BASEMENT CARPARK.

THE FUTURE BODY CORPORATE STRUCTURE FOR THE DEVELOPMENT (WHOSE RESPONSIBILITY WILL INCLUDE WASTE MANAGEMENT), WILL BE REQUIRED TO MAINTAIN THE GENERAL BIN AREA INCLUDING THE BINS.

A PRIVATE CONTRACTOR WILL PROVIDE WASTE COLLECTION INCLUDING THE SUPPLY OF BINS.

IT IS PROPOSED TO USE 660 LITRE BINS FOR GENERAL AND COMMINGLE WASTE.

IT IS ANTICIPATED SERVING THE ABOVE COMPLEX WEEKLY WITH ONE PICK UP, RUBBISH AND COMMINGLE THE PROPOSED WASTE COLLECTION POINT WOULD NORMALLY BE FROM THE REAR SIDE OF 91 WARRIGAL ROAD, HUGHESDALE, THROUGH THE ROAD AT THE REAR OF SITE (WHICH IS STANDARD PRACTICE).

A REAR LIFT VEHICLE WILL BE STATIONARY ALONG THE REAR OF THE BUILDING DURING THE COLLECTION PERIOD. WASTE COLLECTION SERVICES WILL BE CONDUCTED IN A MANNER WHICH WILL CAUSE MINIMAL DISTURBANCE TO THE TENANTS, INCLUDING SURROUNDING BUILDINGS. THE TIME OF PICK UP WILL BE MORNING PRIOR TO 10 AM, WHICH WILL NOT EFFECT OR CONFLICT WITH BUSINESS HOURS.

ODOUR MANAGEMENT

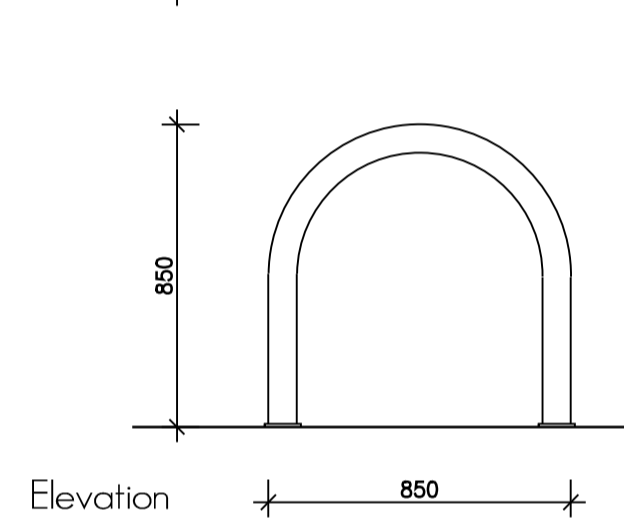
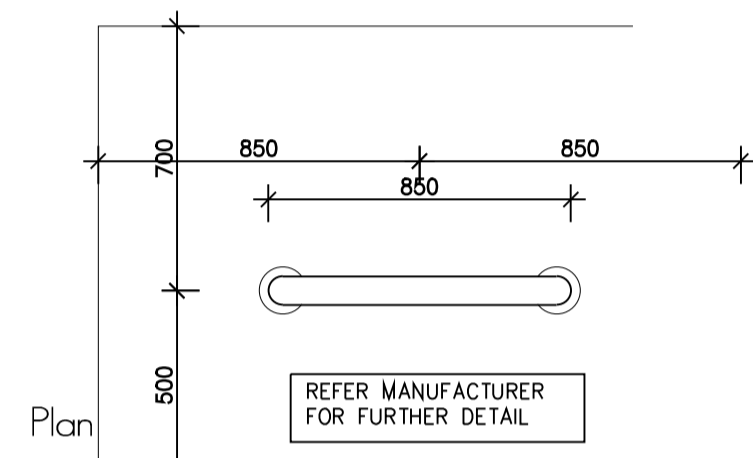
BIN LINERS WILL IMPROVE THE CLEANING TIME AND ELIMINATE ODOURS MUCH MORE EFFECTIVELY THAN HAVING REFUSE SET DIRECTLY IN THE BINS. BIN WASHING CONTRACTORS WILL BE ENGAGED ON A REGULAR BASIS TO COMPLIMENT THE BIN MAINTENANCE. WASHING AND LINING OF ALL BINS WILL BE THE RESPONSIBILITY OF THE WASTE MANAGEMENT COMPANY.

SIGNAGE AND BIN USAGE

SIMILAR TO COUNCIL, BINS ARE IDENTIFIED BY DIFFERENT COLOURS FOR EACH TYPE OF WASTE. STICKERS ON EACH BIN WILL CLEARLY IDENTIFY WHERE WASTE IS TO BE DIRECTED.

BICYCLE PARKING DETAILS

SCALE 1:20



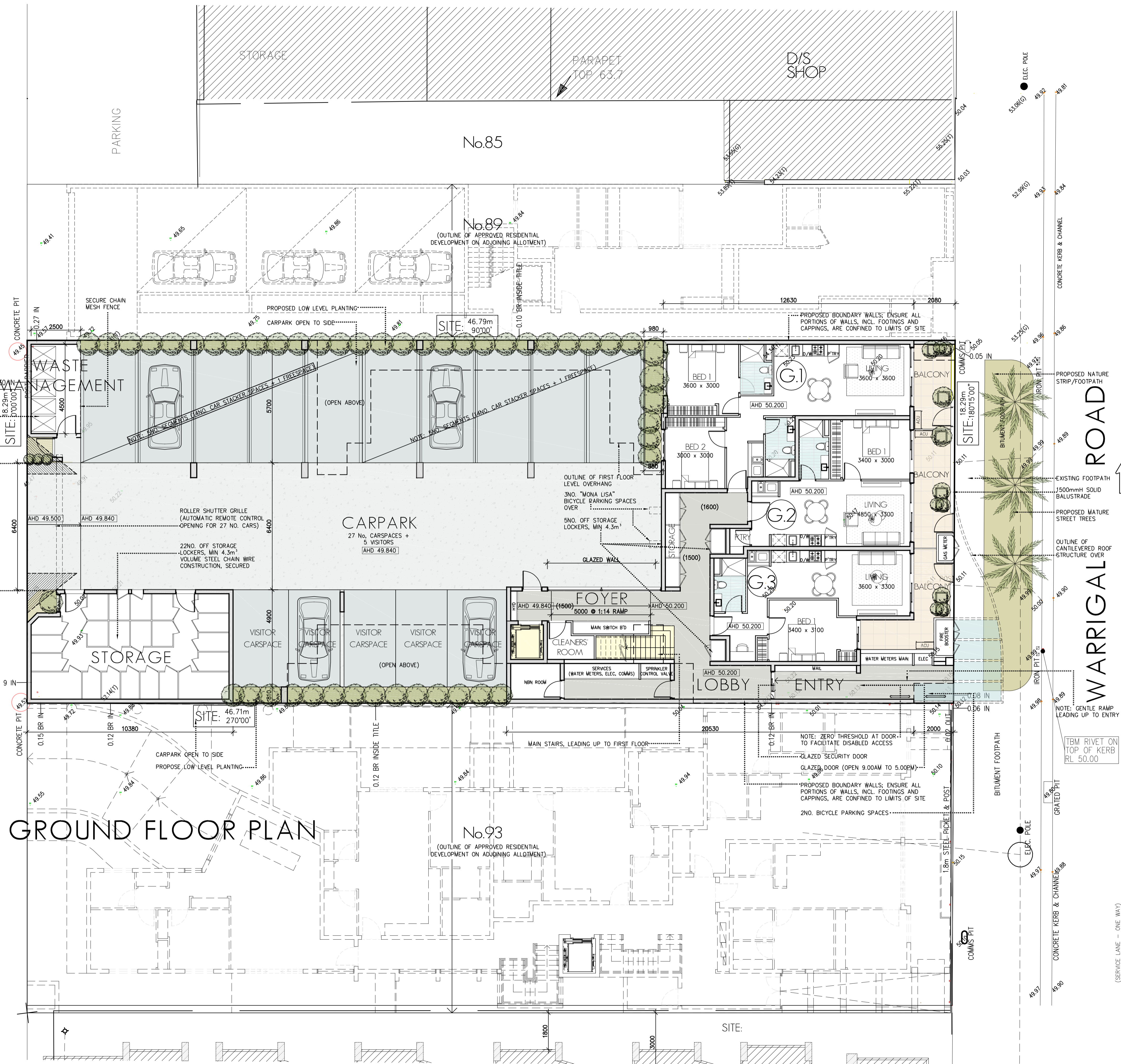
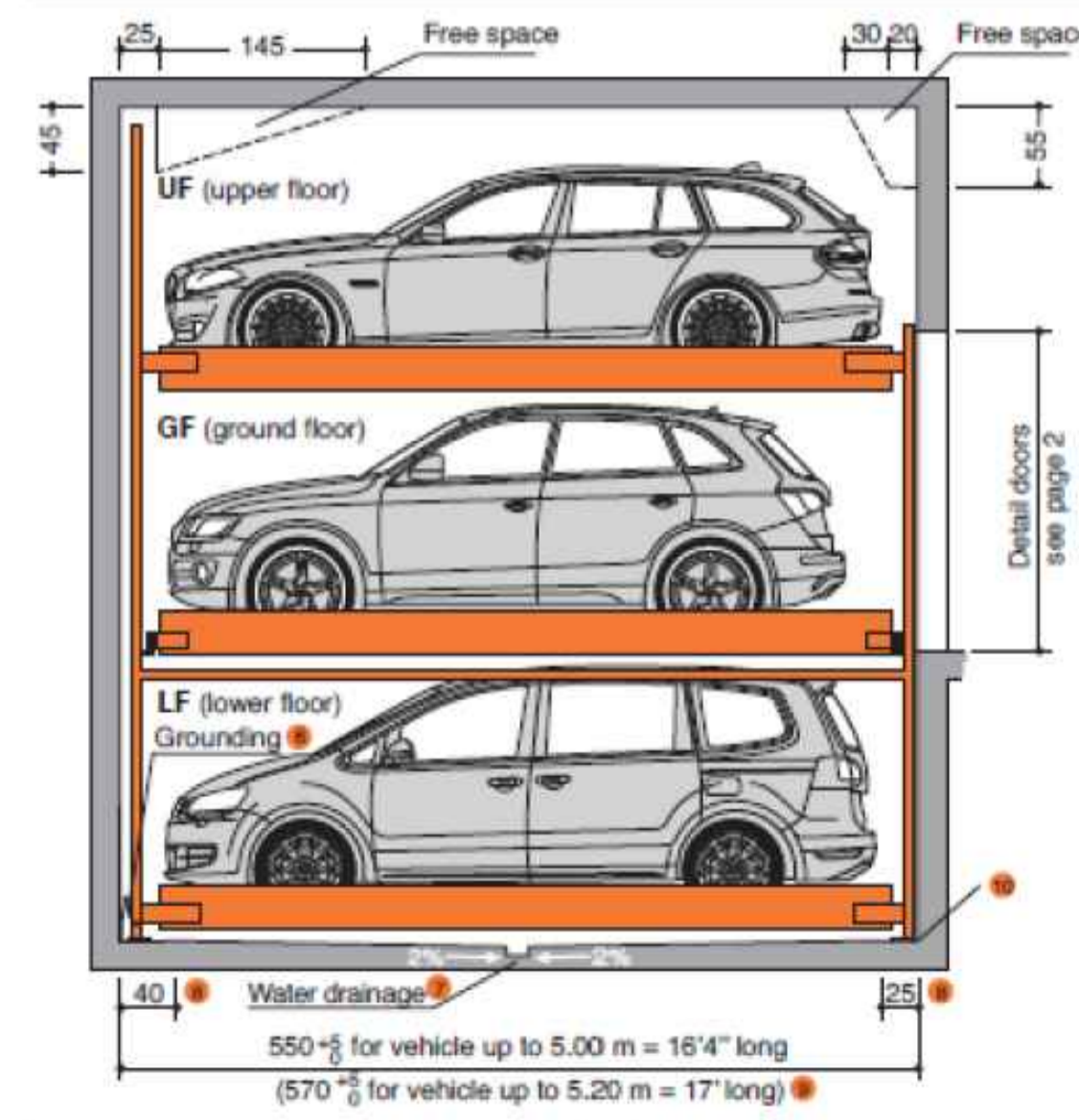
CORA BIKERACK: 'GSR28' BICYCLE PARKING RAIL

VISIBILITY SPLAY MEASURING 2000 MM (WIDTH ACROSS FRONTAGE) BY 2500 MM (DEPTH INTO THE SITE).

NOTE: WHERE WITHIN THE SUBJECT SITE, STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST BE NOT MORE THAN 1200 MM IN HEIGHT.

CAR STACKER DETAILS

KLAUS Multiparking GmbH
 Hermann-Krum-Strasse 2
 D-88319 Aitrach
 Fon +49 (0) 75 65 5 08-0
 Fax +49 (0) 75 65 5 08-88
 info@multiparking.com
 www.multiparking.com



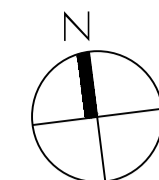
GROUND FLOOR PLAN

WARRIGAL ROAD

CONCRETE KERB & CHANNEL

(SERVICE LANE - ONE WAY)

PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE



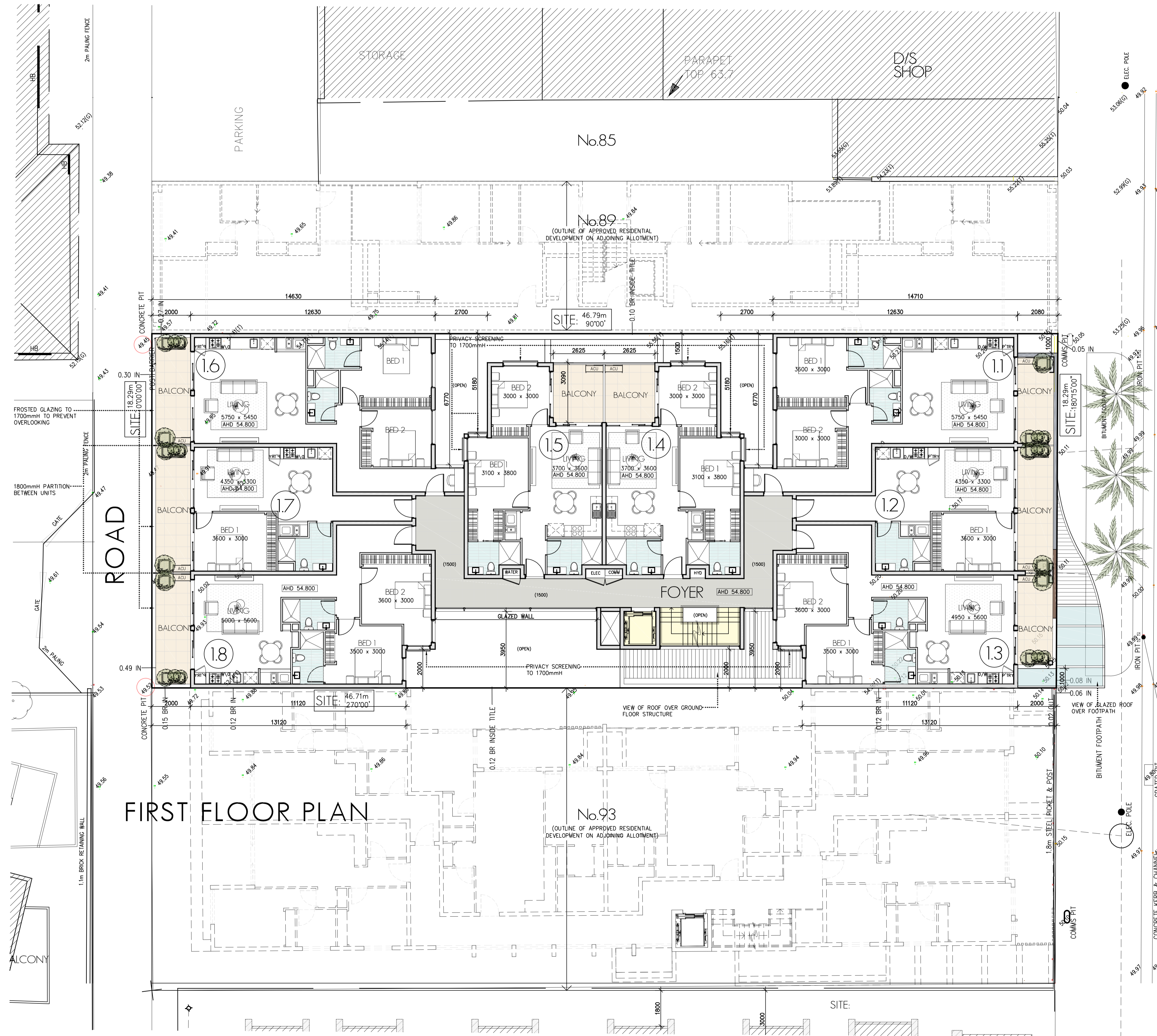
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DRAWN BY: MATTHEWA / SL
 FOR RF

DRAWING TITLE:
FIRST FLOOR PLAN
 DATE: 13TH APRIL 2018
 TPA03 - 3 OF 16
 JOB NO. 17 - 119
 SCALE: 1: 100

ALL LEVELS ARE TO
 AUSTRALIAN HEIGHT DATUM



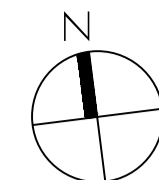
FIRST FLOOR PLAN

WARRIGAL ROAD

SUSTAINABILITY MANAGEMENT
 (SHEET 1 OF 3)

Design criteria	Design response/Performance Commitments	Notes
Indoor Environmental Quality		
Daylight / Solar exposure	Majority of the apartments have good access to natural daylight. The building form and units layout have been configured to ensure that majority of development have either a north, east or west orientation and therefore receive direct solar access.	
Thermal Comfort	Thermal comfort for occupants will be enhanced by the specification of high performance glazing and adequate insulation combined with high efficiency inverter drive air-conditioning units.	
Natural Ventilation	All living rooms and bedrooms have access to natural ventilation. All windows are operable and exceed NCC windows opening sizes requirement. Several apartments will have access to cross-flow ventilation.	
Noise Attenuation	The inclusion of adequate insulation to external & internal party walls/floors and double glazing windows to all townhouses and apartments will buffer excessive noise generated by traffic, neighbours and hard surfaces.	
Volatile Organic Compounds	All interior paints, adhesives and sealant will be Low VOC type to improve indoor environmental quality for residents.	Low VOC paints, adhesives, and sealants will be specified to meet the requirements of Credit IEQ-13.1 Indoor Pollutant of the Green Star Design & As Built Version 1.1.
Energy Efficiency		
Building Design	The following sustainable design features have been integrated into the design of the building: <ul style="list-style-type: none"> Specification of high performance glazing to all apartments to reduce excessive summer heat gain and winter heat loss. Majority of North, East and West Facing glazing are shaded by balconies above which will reduce summer heat gain. 	
91 Warrigal Road Hughesdale Sustainability Management Plan 19 April 2018		
Energy Ratings	The proposed development is expected to achieve an average energy rating of 6.7 stars.	The development energy rating achieved significantly exceeds the BCA 2010 energy efficiency requirements for Class 1 & 2 dwellings. Refer to Appendix 4 for details of energy rating.
Renewable Energy System	The following renewable energy systems will be installed: <ul style="list-style-type: none"> A 5 kW peak solar photovoltaic system for apartment building providing renewable energy to offset greenhouse emissions arising from common area energy usage. 	The proposed renewable energy systems are predicted to result in equivalent avoided greenhouse emissions of approximately 8.8 tonnes CO ₂ e each year in total. Refer to Appendix 5 for details of proposed system capacity and panel numbers.
Energy Efficient Appliances	All electric appliance supplied to the apartments by the developer will be specified as energy efficient within one star of the best available. This will include (if applicable) any dishwashers and washing machine.	For information on the energy performance of household appliances refer to www.energyrating.gov.au . Appliances will be specified during design development in order to meet Green Star performance outcomes.
Heating & Cooling	Reverse cycle split systems within a star of the best available will be installed in each apartment to provide heating and cooling. Non star-rated units will have performance co-efficient with similar relative efficiency within the range of products commercially available.	Product listings and energy efficiency performance information is located at www.energyrating.gov.au
Domestic Hot Water	Domestic hot water will be provided by: <ul style="list-style-type: none"> An efficient central gas hot water system with a minimum appliance efficiency of 84% and a highly insulated circulating loop to reduce parasitic heat losses for apartment building. 	
Lighting	Energy efficient lighting systems will be installed throughout the development including: <ul style="list-style-type: none"> LED lighting to internal rooms of apartments (within 4W/m²) LED lighting to internal common areas and internal commercial areas. Energy efficient car park lighting with T5 type fluorescent lamps. An energy efficient external lighting system comprising LED or compact fluorescent lighting. 	All common areas and external area lighting will be controlled through motion/daylight sensor. This will ensure that lighting only operates when adequate levels of daylight are insufficient or if human activity in common area does not exist. Also external lighting will be designed to avoid light spill to the night sky.

PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE

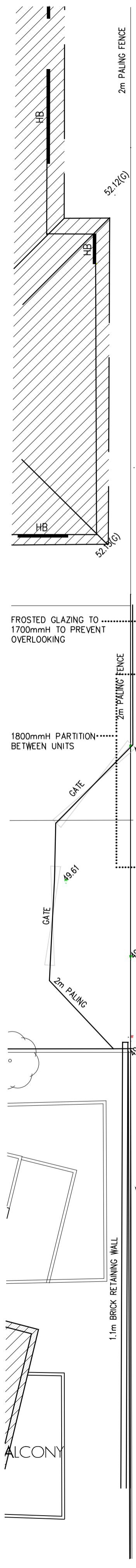
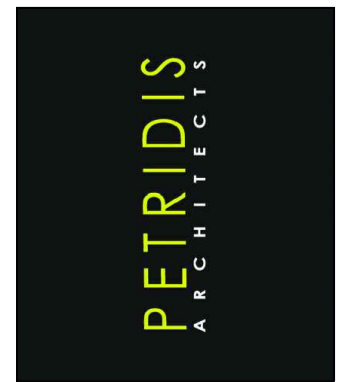


DRAWING TITLE:
 SECOND FLOOR PLAN
 TPA04 - 4 OF 16
 JOB NO. 17 - 119
 SCALE: 1:100

DATE: 13TH APRIL 2018
 DRAWN BY: MATTHEWA / SL
 FOR RF

ALL LEVELS ARE TO
 AUSTRALIAN HEIGHT DATUM

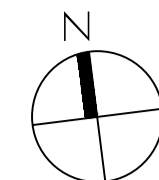
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WARRIGAL ROAD
SUSTAINABILITY MANAGEMENT
 (SHEET 2 OF 3)

91 Warrigal Road Hughesdale Sustainability Management Plan		10 April 2018
Energy Efficient lift	The lift will be specified to include (where applicable): <ul style="list-style-type: none"> Suspension specifically designed to reduce friction Adjustable speed motors Efficient power supply units (e.g. switched units, transformers) LED lights and displays 	
Car Park Ventilation	The car park will be naturally ventilated.	
Water Management		
Rainwater Harvesting	Details about rainwater harvesting system proposed for the development are listed below: <ul style="list-style-type: none"> Collection area. All roof areas 12,000 litres tank Re-use of water for toilet flushing Re-use of water for irrigation 	Rainwater tank reliability analysis has been undertaken to estimate annual mains water savings. Savings: 121Kl. Supply reliability for toilet flushing and irrigation: 88%. Please refer to Appendix 3 for details of predicted harvested rainwater volumes.
Water Efficient fittings	Water efficient fittings will be specified in accordance with the following minimum performance standard as rated by the Water Efficiency Labelling Scheme (WELS): <ul style="list-style-type: none"> Toilets minimum 4 star WELS rated Tap minimum 5 star WELS rated Showers minimum 3 star WELS rated (maximum 7.5L/min) 	
Water Efficient Appliance	Water efficient appliances (where applicable) are provided by the developer will be specified within 1 WELS star of the best available at the time of specification	This includes dishwashers and any other appliances using water.
Heat Rejection Water	No air-conditioning systems in the building will rely on water-based heat rejection system, thereby avoiding the installation of potential water-consuming system.	
Fire System Test Water		
Fire System Test Water	Water recycling measures will be designed into the fire water system to reduce potable water consumption including: <ul style="list-style-type: none"> Installation of a pump recirculating tank to enable reuse of test water from pump load tests, and/or A break tank to enable recycling of test water from pump run tests 	Fire systems require regularly testing and can consume significant amounts of potable water from mains supply unless recycling systems are installed.
Stormwater Management		
Stormwater Quality	The development achieves a STORM score of 104%.	The STORM score attained demonstrates that the development exceeds the Best Practice Standard for Urban Stormwater. Refer to Appendix 2 for the STORM report.
Building Materials		
Timber	All feature timber used in the building will be recycled or from accredited sustainably harvested plantation source (FSC or AFS)	
Concrete	Concrete used to construct the building will be specified so that it has reduced the absolute quantity of Portland cement as an average across all concrete mixes, which at the same time will reduce embodied energy by substituting it with industrial waste products) or oversized aggregate as follows: <ul style="list-style-type: none"> 30% for in situ concrete 20% for precast concrete 10% for stressed concrete Non-structural concrete will not use natural aggregate	Note that this is subject to meeting structural requirements and project management constraints
Flooring	Flooring will be selected from Ecospecifier or the Moreland Greenlist or will have GECA or ISO14001 Certification	
Paint, adhesives and sealants	All interior paints, adhesives and sealant will be Low VOC type to improve indoor environmental quality for residents.	Low VOC paints, adhesives, and sealants will be specified to meet the requirements of Credit EQ-13.1 Indoor Pollutant of Green Star Design & As Built Version 1.1

PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE



DRAWING TITLE:
 THIRD FLOOR PLAN
 TPA05 - 5 OF 16
 JOB NO: 17 - 119
 SCALE: 1:100

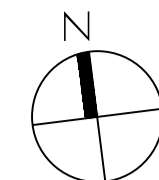
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SUSTAINABILITY MANAGEMENT
 (SHEET 3 OF 3)

81 Warrigal Road Hughesdale Sustainability Management Plan 10 April 2018		
Sustainable Transport		
Bicycle Racks	Adequate facilities to promote cycling to residents and visitors will be provided within the development. Bicycle racks are provided consisting of: <ul style="list-style-type: none"> 4 bicycles spaces for apartment 	The bike parking facilities provided significantly meets the ratios set out in Clause 52.34 of the Monash Planning Scheme.
Walk Score®	This development scored 92 out of 100 which is considered to be a walker's paradise	Walk Score® takes into account the number of facilities within close proximity and provides a numerical score of between 1 and 100, with 1 being heavily car dependent with access to community facilities that are located some distance away and 100 reflecting a location that is easily accessible to abundant facilities by foot.
Trip Reduction	The development is positioned in an ideal location to meet the residents' daily needs. The development is located within close proximity to a number of shops, shopping centres, restaurants, parks and a number of community facilities	Restaurants: Noodle Hut Walk .2km Coffee: Oakleigh Platform Cafe .2km Bars: Oakleigh Junction .3km Groceries: Clearance Sales .3km Parks: Gabally Reserve .7km Schools: Sacred Heart Girls' College .1km Shopping: Tamascukas Designs .06km Entertainment: Monash Federation Centre .3km Errands: Lix Bank .3km
Public Transport Access	This site is serviced by public transport including rail. These provide access to a number of various places throughout Monash municipality as well as the CBD and outer suburbs. Closed train station Oakleigh station which is within 0.2 Km of the development.	
Urban Ecology		
Landscape	Planter boxes have been integrated into the development design.	These features will not only provide a community within the development but will also enhance the ecological value of the development. Note: Water efficient/drought tolerant plants will be selected
Waste Management		
Operational Waste Management	The following waste management facilities will be provided in the development: Bins for general waste & recyclables will be provided for the apartments.	Refer to Waste management Plan
Construction Waste Minimisation	A target recycling rate of 80% of construction and demolition waste has been adopted for the construction phase of the development to minimise the volume of waste to landfill. This will be achieved by the development of a comprehensive waste minimisation strategy including: <ul style="list-style-type: none"> Separation of all commercially viable recyclable waste streams Training in waste minimisation for all site staff and contractors to form part of site induction training. Record keeping of landfill waste and recyclable stream volumes to track performance against the 80% recyclable target. 	A dedicated recycling contractor will be engaged to facilitate separation of commercially viable recyclable waste streams in accordance with the target adopted.
Construction & Building Management		
Metering	In addition to individual apartment and tenancy meters for utilities, the following meters will be installed to provide information in relation to centralised building systems and common area energy consumption: <ul style="list-style-type: none"> Harvested rainwater supply line Gas meter for hot water plant Apartment common area lighting meters Car park lighting & power meter Solar photovoltaics system 	The information collected from these meters will be used by the Owner's Corporation manager to assess the function and efficacy of central systems during commissioning and ongoing operation.
Commissioning & Maintenance		
Commissioning & Maintenance	All energy and water management systems set out in this report will be commissioned in accordance with the manufacturer's specifications. Ongoing maintenance and regular monitoring of building systems will be undertaken by building management staff to ensure effective and efficient ongoing operation of all centralised building systems set out in this report including the rainwater harvesting system.	It is anticipated that the building manager will provide regular reports to the Owner's Corporation members in relation to resource consumption and cost.
Building Users Guide		
Building Users Guide	A Building Users Guide will be prepared and will provide details regarding the everyday operation of the building to enable building users to minimise energy and water consumption and optimise internal comfort and amenity.	The building users' guide will be prepared in accordance with the requirements of Credit Man 4.2 Building User Information of the Green Star Design & As Built Version 1.1



No. 93 WARRIGAL ROAD
EAST ELEVATION
 (I.E. FACING WARRIGAL ROAD)

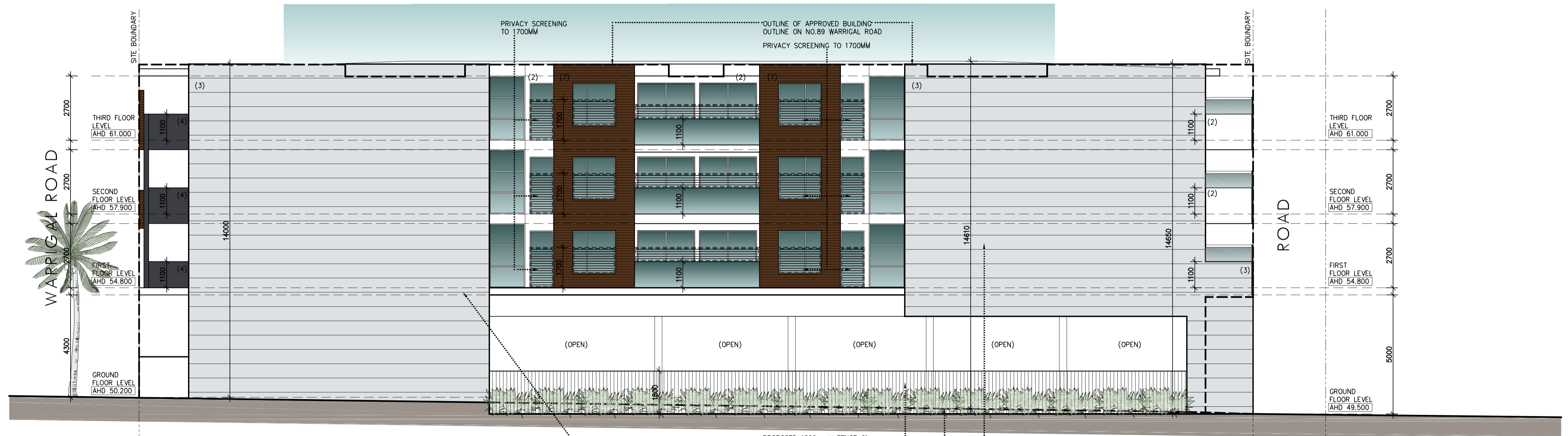
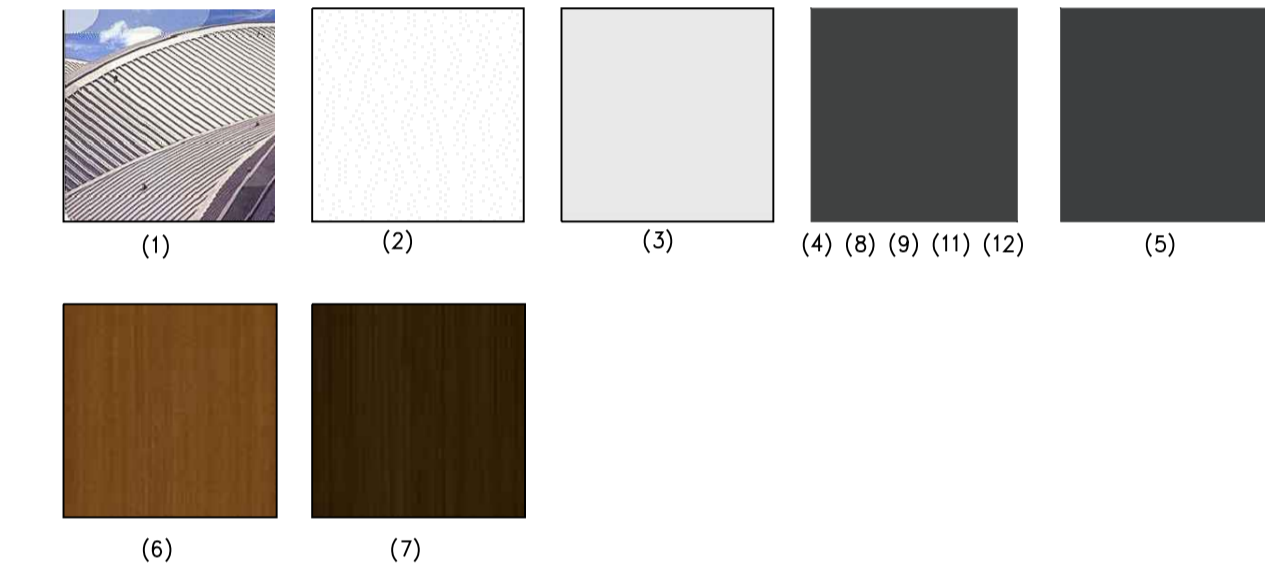
NOTE: ZERO THRESHOLD TO FRONT
 ENTRY DOOR TO FACILITATE
 DISABLED ACCESS

1500mm BALLUSTRADE
 OUTLINE OF NATURAL GROUND LEVEL

No. 89 WARRIGAL ROAD

MATERIALS, MATERIALS AND COLOURS SCHEDULE

- ROOF: (1) SHEET STEEL ROOFING, ZINCALUME FINISH OR SIMILAR
- WALLS: (2) SELECT CEMENT RENDER SMOOTH FINISH; inc. INTEGRAL COLOUR, DULUX COLOUR SPECIFIER, "WHITE" OR SIMILAR
 (3) SELECT SCYON CLADDING "AXON." VERTICALLY LAID, 400MM WIDE. SELECT DULUX COLOUR, "LEXICON" OR SIMILAR
 (4) SELECT CEMENT RENDER SMOOTH FINISH; DULUX COLOUR SPECIFIER, "MONUMENT" OR SIMILAR
- FEATURE FRAMES: (5) SELECT SCYON CLADDING "AXON." VERTICALLY LAID, 133MM WIDE "DOMINO" OR SIMILAR
 (6) SELECT INNOWOOD "WESTERN RED CEDAR" VERTICAL TIMBER CLADDING, OR SIMILAR
 (7) SELECT INNOWOOD "TEAK" HORIZONTAL TIMBER CLADDING, OR SIMILAR
- ANNING: (8) SELECT CEMENT RENDER SMOOTH FINISH; inc. INTEGRAL COLOUR, DULUX COLOUR SPECIFIER, "MONUMENT" OR SIMILAR
- WINDOWS: (9) ALUMINIUM FRAMED, SELECT ANODISED FINISH OR SIMILAR
- FASCIA: (10) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR
- GUTTERS: (11) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR
- DOWNPIPES: (12) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR



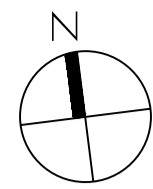
NORTH ELEVATION

PROPOSED 1800mm FENCE ON
 BOUNDARY
 OUTLINE OF NATURAL GROUND LEVEL

PROPOSED BOUNDARY WALLS:
 ENSURE ALL PORTIONS OF WALLS,
 INCL. FOOTINGS AND CAPPINGS,
 ARE CONFINED TO LIMITS OF SITE

No. 10-12
 EARLSTOWN ROAD

PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE



ALL LEVELS ARE TO
 AUSTRALIAN HEIGHT DATUM

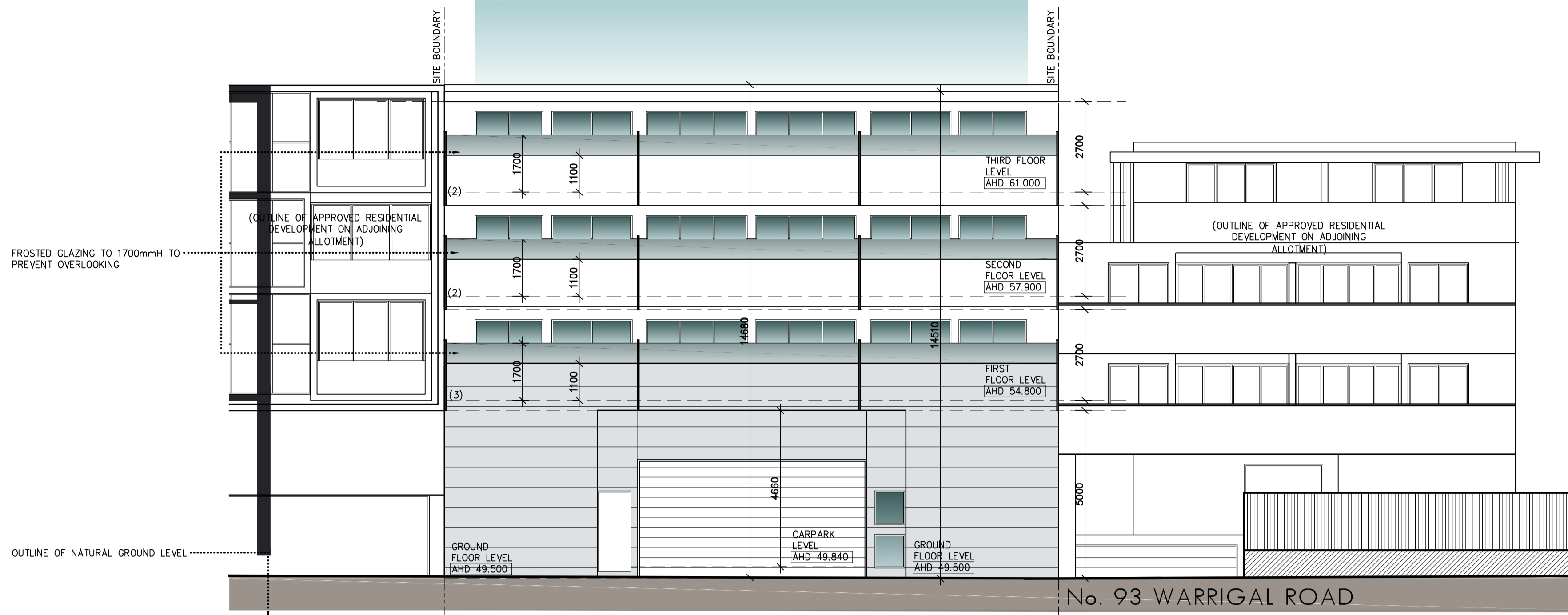
DRAWING TITLE:
 ELEVATIONS, MATERIALS AND COLOUR SCHEDULE
 TPA07 - 7 OF 16
 DATE: 13TH APRIL 2018
 DRAWN BY: MATTHEWA / SL
 FOR RFI

SCALE: 1: 100

LEVEL 1 / 173 UPPER HEIDELBERG ROAD
 IVANHOE 3079

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 FAX: (03) 9 499 8823
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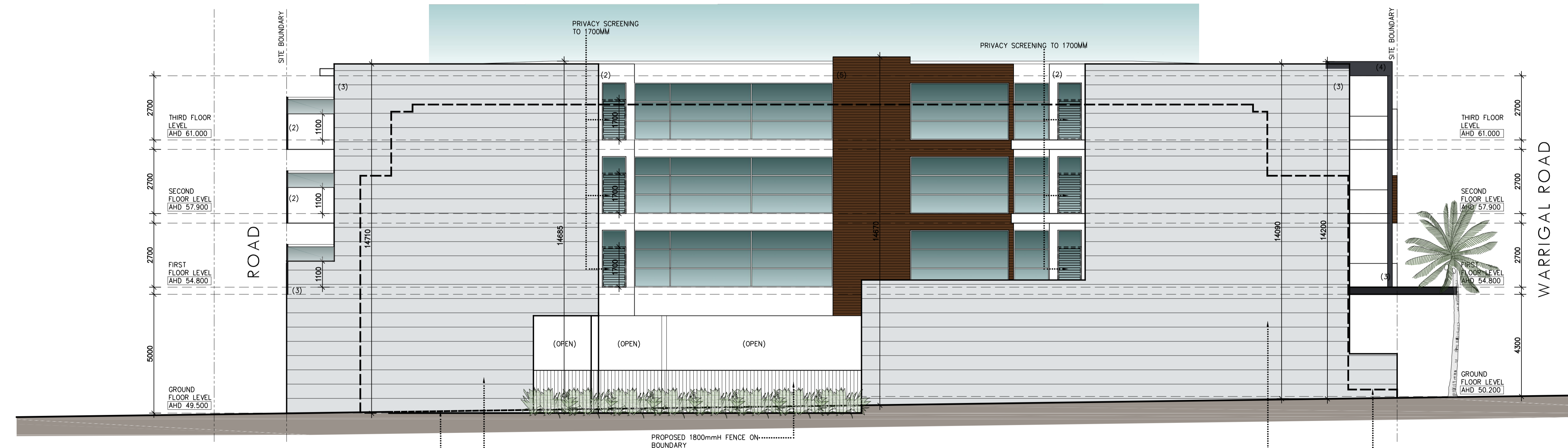
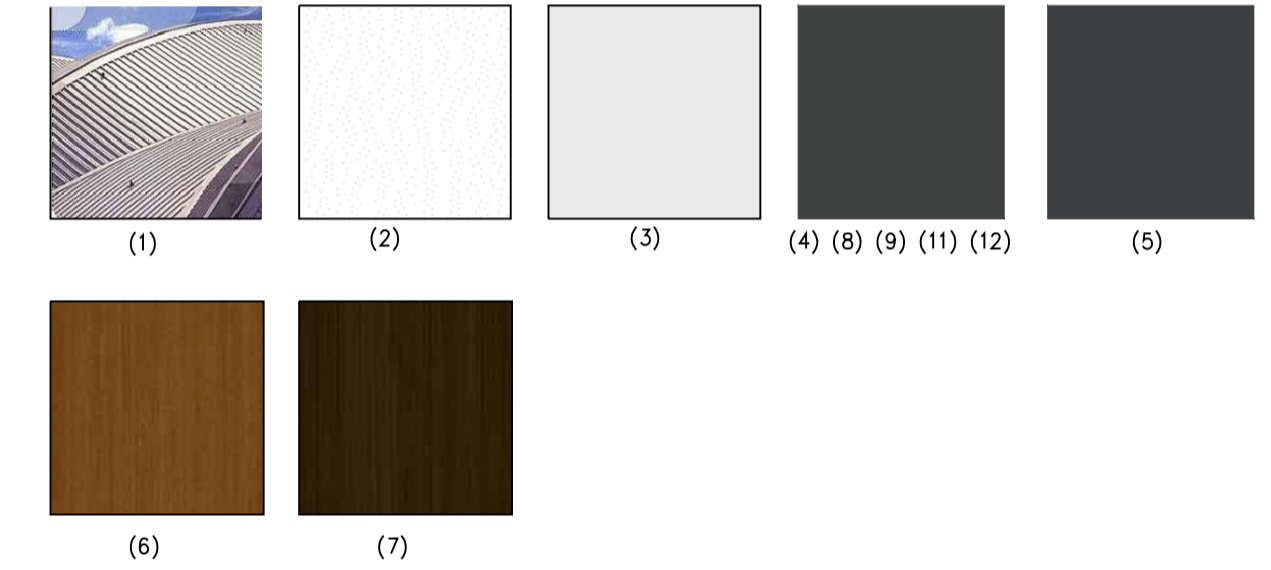
PETRIDIS
 ARCHITECTS



WEST ELEVATION
 (I.E. FACING LANE WAY)

**MATERIALS, MATERIALS
 AND COLOURS SCHEDULE**

- ROOF: (1) SHEET STEEL ROOFING, ZINCALUME FINISH OR SIMILAR
- WALLS: (2) SELECT CEMENT RENDER SMOOTH FINISH; inc. INTEGRAL COLOUR, DULUX COLOUR SPECIFIER, "WHITE" OR SIMILAR
- (3) SELECT SCYON CLADDING "AXON," VERTICALLY LAID, 400MM WIDE. SELECT DULUX COLOUR, "LEXICON" OR SIMILAR
- (4) SELECT CEMENT RENDER SMOOTH FINISH; DULUX COLOUR SPECIFIER, "MONUMENT" OR SIMILAR
- FEATURE FRAMES: (5) SELECT SCYON CLADDING "AXON," VERTICALLY LAID, 133MM WIDE "DOMINO" OR SIMILAR
- (6) SELECT INWOOD "WESTERN RED CEDAR" VERTICAL TIMBER CLADDING, OR SIMILAR
- (7) SELECT INWOOD "TEAK" HORIZONTAL TIMBER CLADDING, OR SIMILAR
- AWNING: (8) SELECT CEMENT RENDER SMOOTH FINISH; inc. INTEGRAL COLOUR, DULUX COLOUR SPECIFIER, "MONUMENT" OR SIMILAR
- WINDOWS: (9) ALUMINIUM FRAMED, SELECT ANODISED FINISH OR SIMILAR
- FASCIA: (10) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR
- GUTTERS: (11) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR
- DOWNPIPES: (12) SELECT COLORBOND COLOUR, "MONUMENT" OR SIMILAR



SOUTH ELEVATION

PROPOSED BOUNDARY WALLS:
 ENSURE ALL PORTIONS OF WALLS,
 INCL. FOOTINGS AND CAPPINGS,
 ARE CONFINED TO LIMITS OF SITE

PROPOSED BOUNDARY WALLS:
 ENSURE ALL PORTIONS OF WALLS,
 INCL. FOOTINGS AND CAPPINGS,
 ARE CONFINED TO LIMITS OF SITE

OUTLINE OF APPROVED BUILDING
 OUTLINE ON NO.93 WARRIGAL
 ROAD

PLANNING APPLICATION FOR APARTMENT DEVELOPMENT
91 WARRIGAL ROAD, HUGHESDALE

DRAWING TITLE:
 DETAILED SITE DESCRIPTION, NEIGHBOURHOOD AND SITE DESCRIPTION
 DATE: 13TH APRIL 2018
 TPA08 - 8 OF 16
 JOB NO. 17 - 119
 SCALE: 1: 300
 DRAWN BY: MATTHEWA / SL
 FOR RL: AUSTRALIAN HEIGHT DATUM

LEVEL 1 / 173 UPPER HEIDELBERG ROAD
 IVANHOE 3079

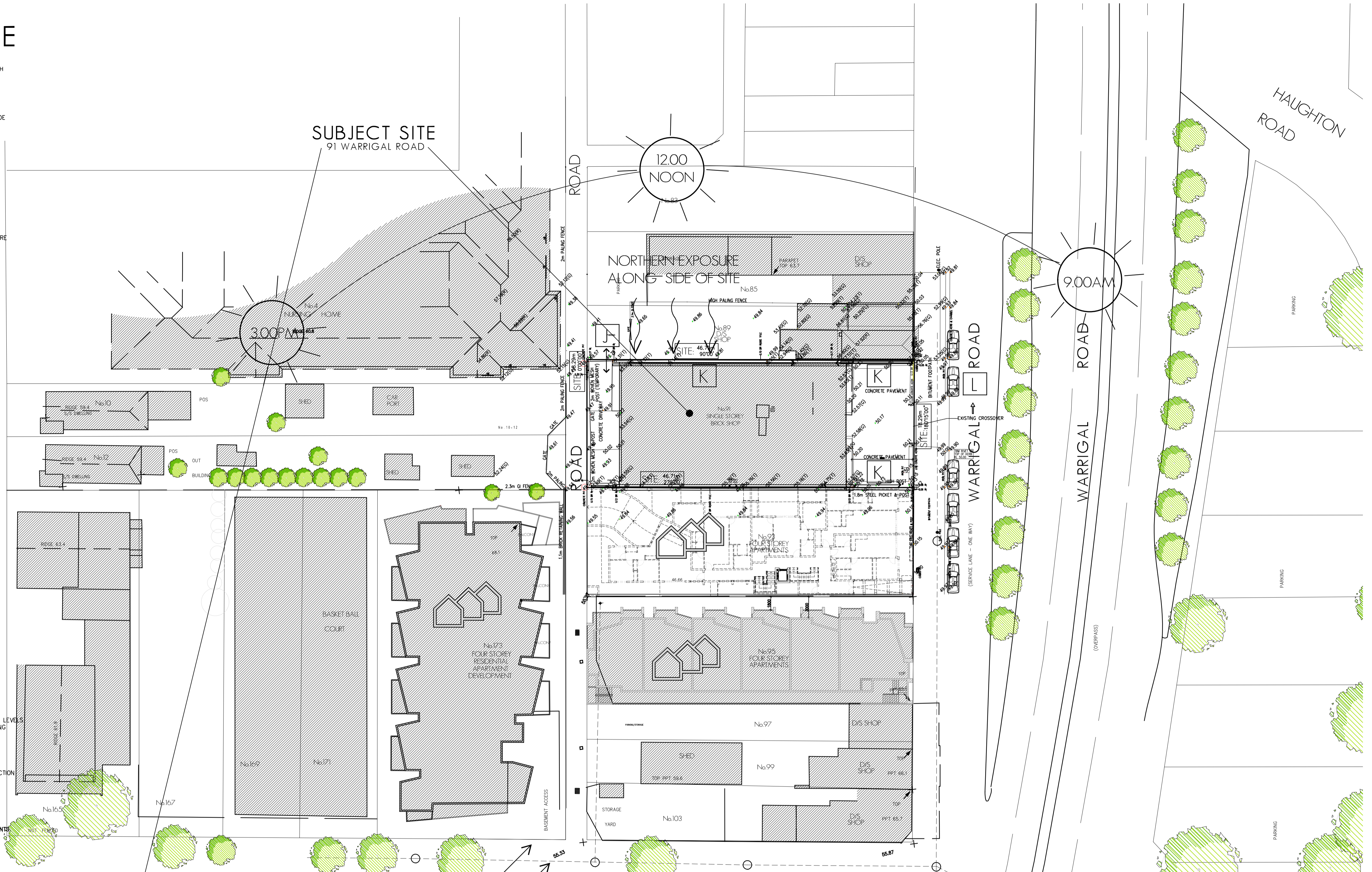
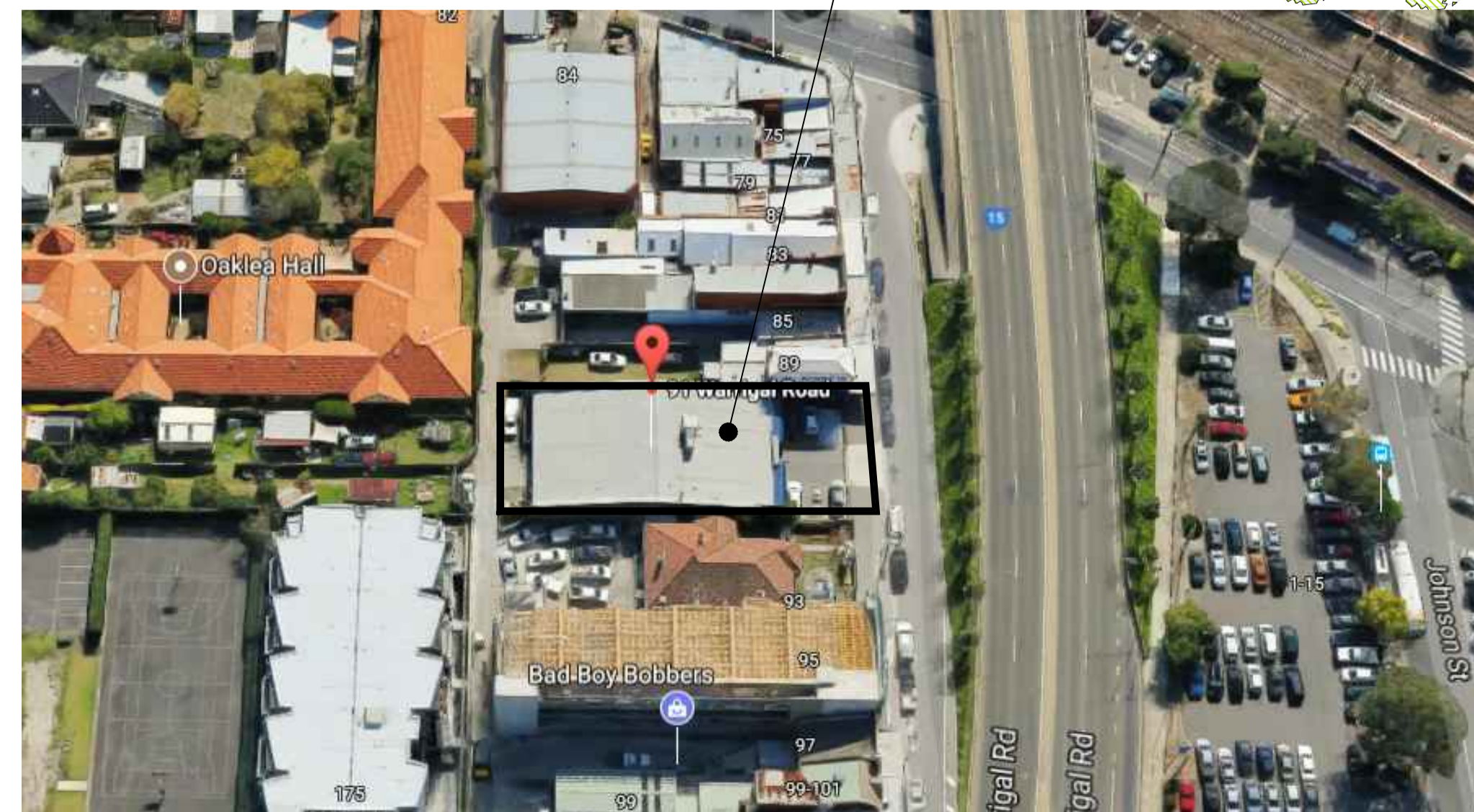
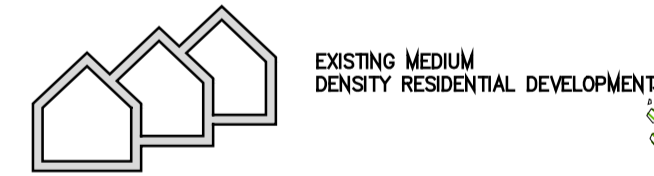
PH: 031 9 499 8826
 FAX: 031 9 499 8823
 EMAIL: office@petridisarchitects.com.au



SUBJECT SITE

- LARGE SITE AREA - 855 m²
- COMFORTABLE SITE FALLS, FROM SOUTH EAST TO NORTH WEST AT GRADIENT OF 1.1% (550MM SLOPE OVER 50.10m APPROX. LENGTH)
- WIDE STREET FRONTAGE - APPROX 18.29m OVERALL LENGTH
- SIGNIFICANT NORTHERN EXPOSURE - 46.79m ALONG SIDE
- SUPERIOR LOCATION IN RISING MIDDLE SUBURBAN PRECINCT
- SUBJECT SITE IS "RIPE" FOR RE-DEVELOPMENT

- ← A RECREATION RESERVE (APPROX. 1.3KM WEST)
- ← B CHADSTONE REGIONAL SHOPPING CENTRE (APPROX. 2.3km WEST)
- ← C COMMUNITY CENTRE (APPROX. 1KM WEST)
- ← D BUS ROUTE 627 AND 701 (APPROX. 50m WEST)
- ↓ E PRIMARY SCHOOL (APPROX. 1km SOUTH)
- ↓ F RAILWAY STATION (APPROX. 150m EAST)
- ↓ G MAJOR SHOPPING CENTRE (APPROX. 300m EAST)
- ↑ H OFF ROAD BICYCLE TRAIL (APPROX. 200m NORTH)
- ↑ I RECREATION RESERVE (APPROX. 500m NORTH)
- J NO DISCERNIBLE DIFFERENCE IN SITE LEVELS BETWEEN SUBJECT SITE AND ADJOINING ALLOTMENTS
- K EXISTING BOUNDARY WALL CONSTRUCTION



PLANNING APPLICATION FOR APARTMENT DEVELOPMENT 91 WARRIGAL ROAD, HUGHESDALE

DRAWING TITLE: DETAILED SITE DESCRIPTION, NEIGHBOURHOOD AND SITE DESCRIPTION
 DATE: 13TH APRIL 2018
 DRAWN BY: MATTHEWA / SL
 FOR RF: ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

LEVEL 1 / 173 UPPER HEIDELBERG ROAD
 IVANHOE 3079
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- A** PROPOSED TREES INCLUDING EXISTING STREET TREE TO PROVIDE SCALE AND FOREGROUND TO DEVELOPMENT
- B** EXISTING ON-STREET CARPARKING NUMBERS TO BE GENERALLY RETAINED AS IS
- C** COMFORTABLE BALCONIES PROVIDED: GOOD AREAS, GOOD PROPORTIONS, GREAT ALL ROUND EXPOSURE, (INCL. MIDDAY SUN)
- D** MAIN FAMILY AREAS ARE LOCATED TO THE REAR OF THE FLOOR PLANS. THEY TAKE ADVANTAGE OF THE BALCONIES AND THE SIGNIFICANT SOLAR EXPOSURE AVAILABLE TO THESE YARDS.
- E** GOOD SURVEILLANCE OF WARRIGAL ROAD AVAILABLE FROM APARTMENTS G1, G2, G3, 1.1, 1.2, 1.3, 2.1, 2.2, 2.3, 3.1, 3.2, AND 3.3.
- F** DESIGN OF INTERIORS OF NEW DWELLINGS INFLUENCED BY REAR PRIVATE OPEN SPACES; MAIN SITTING AREAS HAVE PHYSICAL AND VISUAL ACCESS TO THESE YARDS.
- G** DESIGN OF INTERIOR OF NEW DWELLINGS UNDERTAKEN IN MODERN CONTEMPORARY MANNER; PLENTY OF LIGHT AND OPEN SPACE; FEW WALLS AND FEW VISIBLE DOORS
- H** 27 NO CARSPACES AVAILABLE ON SITE; CARS TO BE STORED BEHIND SECURE GARAGE WALLS/ DOORS
- I** LAYOUT OF DESIGN, ORIENTATION OF SUN, RELATIONSHIP OF DEVELOPMENT SITE WITH ADJOINING PROPERTIES MAINTENANCE OF MODEST BUILDING HEIGHTS AND PROVISION OF COMFORTABLE SETBACKS FROM ADJOINING BOUNDARIES WILL LIMIT OVERSHADOWING AND OVERLOOKING OF ADJOINING PROPERTIES
- J** OVERLOOKING OF ADJOINING PROPERTIES MINIMISED THROUGH USE OF PRIVACY SCREENS AND FROSTED GLASS AND HIGHLIGHT GLAZING, AND EXACT LOCATION OF WINDOWS
- K** PROPOSED CROSSOVER



DESIGN RESPONSE

HOW PROPOSAL RESPECTS, ACKNOWLEDGES AND IMPROVES THE EXISTING NEIGHBOURHOOD CHARACTER:

- DWELLINGS HAVE DISTINCT STYLE AND "FEEL" FROM FRONT; AN ARTICULATED MODERN APPEARANCE NOT TOTALLY OUT OF CHARACTER WITH THE PREVAILING ECLECTIC STREETScape (AND VERY MUCH IN KEEPING WITH A NEWLY EMERGING APARTMENT AESTHETIC.
- DWELLINGS ARE PHYSICALLY ATTACHED BUT HAVE INDIVIDUAL CHARACTER AND IDENTITY

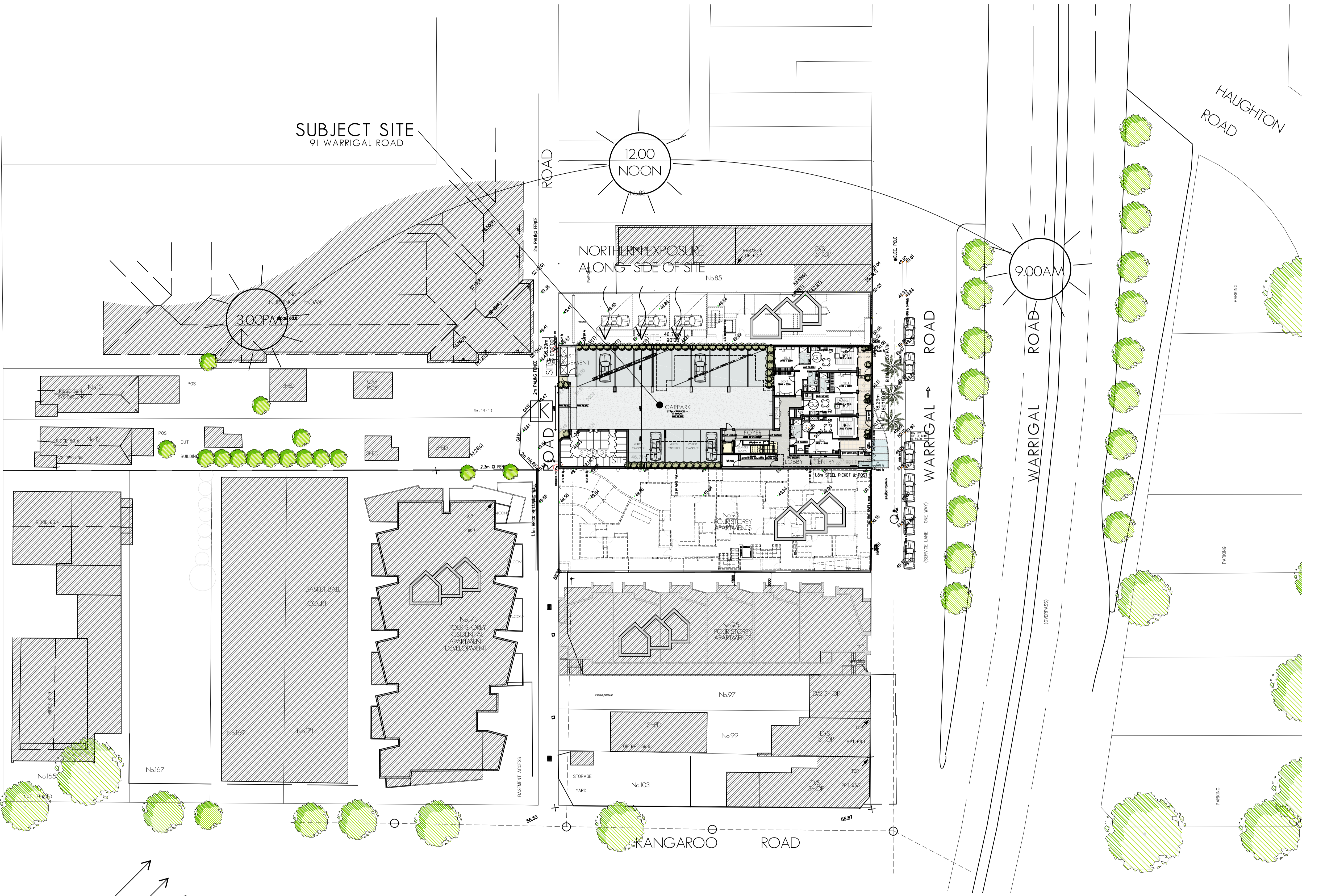
GENERAL NOTES

DENSITY IS APPROPRIATE AND RESPONDS TO SITE LOCATION IN AN ESTABLISHED RESIDENTIAL PRECINCT: ALL INFRASTRUCTURE AVAILABLE: PROXIMITY TO PUBLIC TRANSPORT, PARKS, SCHOOLS, SHOPS ETC

EXISTING AND PROPOSED ESTABLISHED LANDSCAPING WILL INTEGRATE DEVELOPMENT FURTHER INTO NEIGHBOURHOOD.

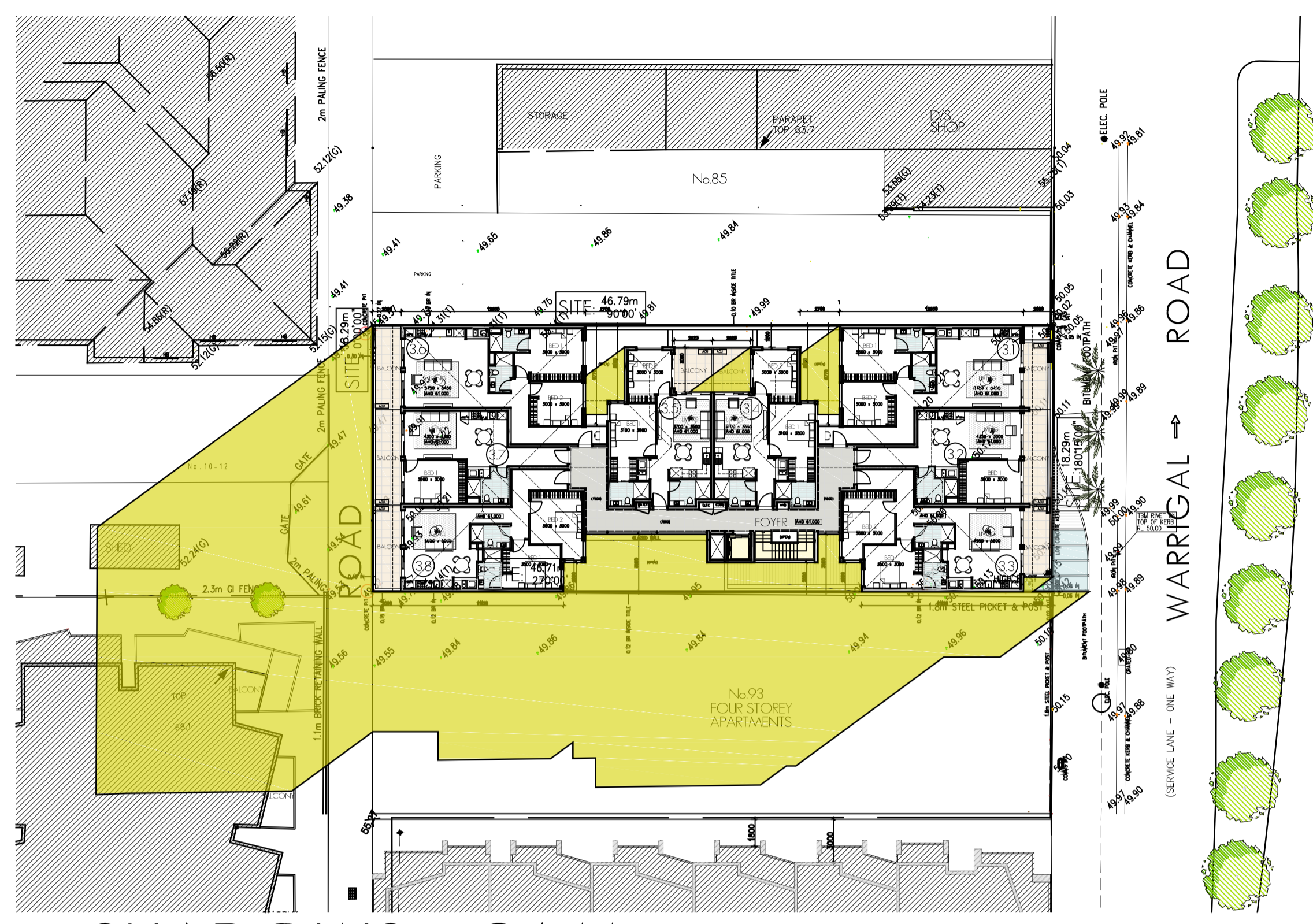
MATERIALS AND EXTERNAL FINISHES
 (1) CEMENT RENDER FINISH,
 (2) ALUMINIUM WINDOWS
 (3) FLAT STEEL ROOFING, ALL RESPONDING TO MATERIALS COMMONLY FOUND IN THE HUGHESDALE LOCALITY

BUILDING FORM IS ARTICULATED, FACADE IS A SERIES OF "RISING" FRAMES

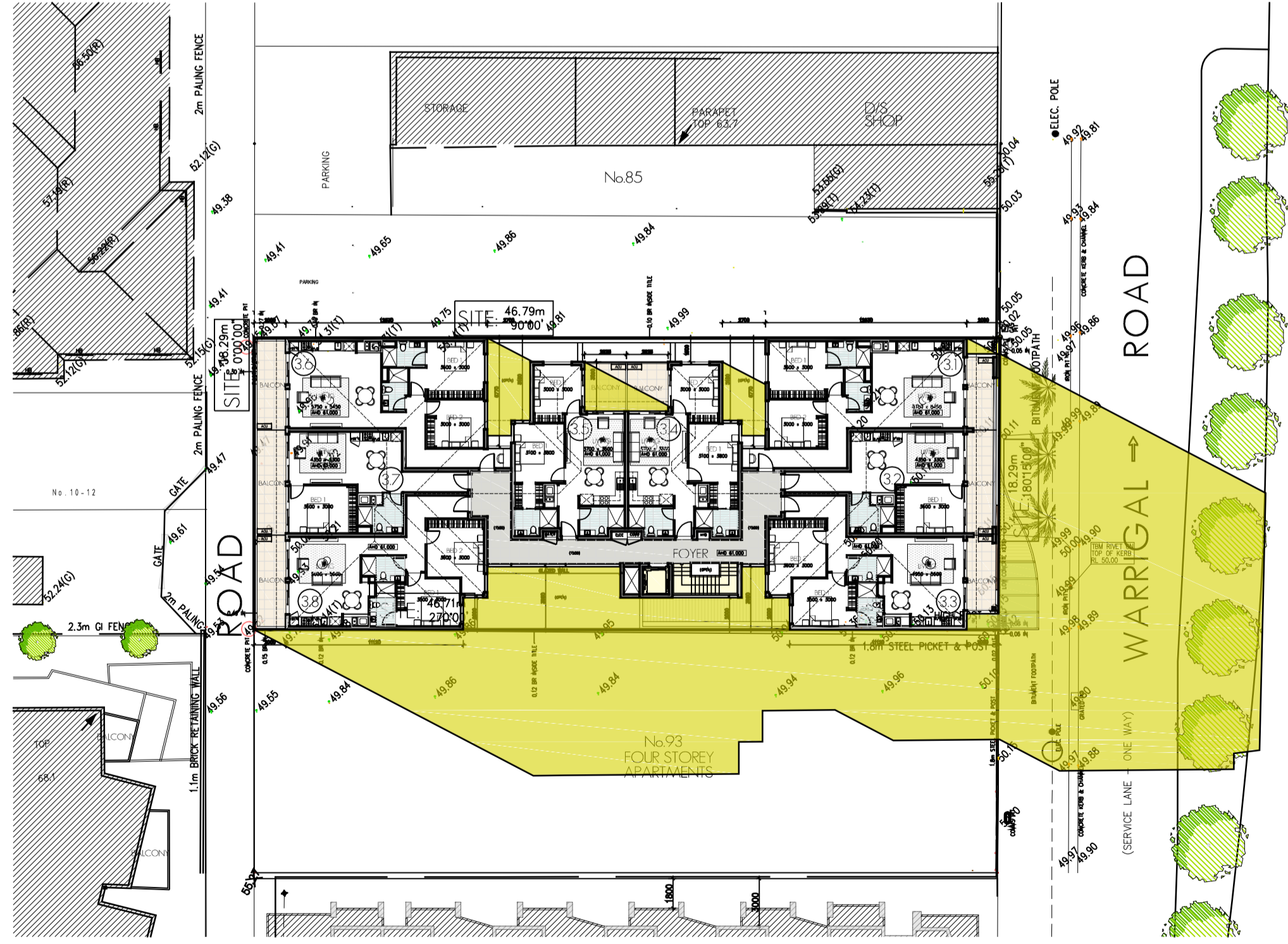


DETAILED SITE ANALYSIS: DESIGN RESPONSE

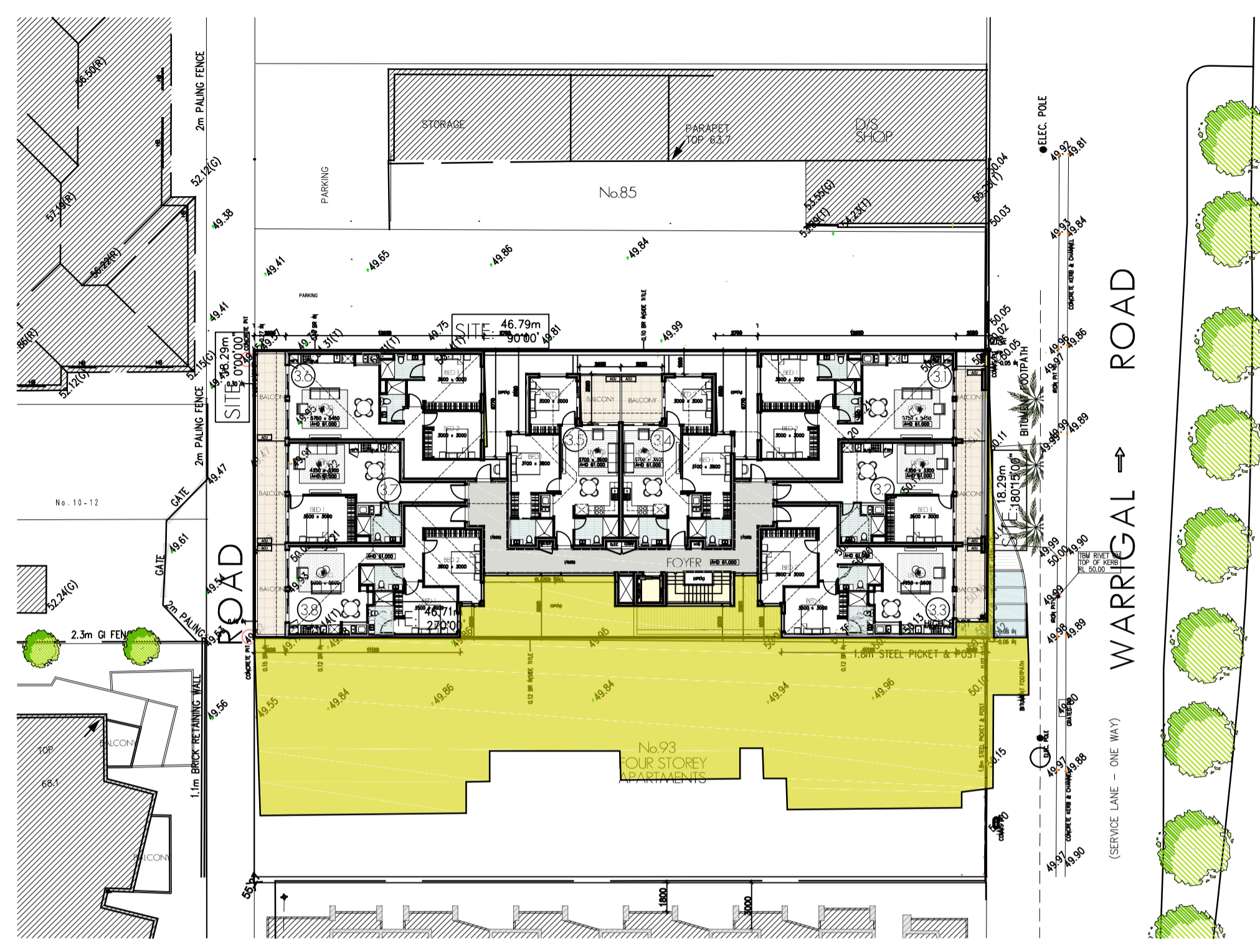
STREETSCAPE: (FACING WARRIGAL STREET)
 SCALE 1:200



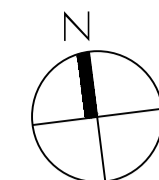
SHADOWS - 9AM



SHADOWS - 3PM

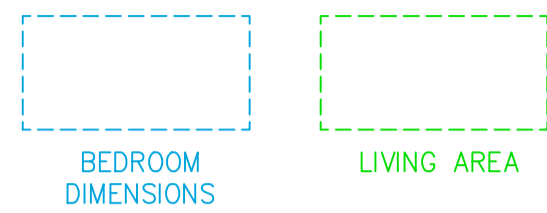


SHADOWS - 12 NOON



BAD ASSESSMENT LEGEND

FUNCTIONAL LAYOUT

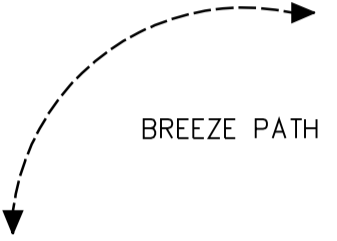


ROOM DEPTH

2700MM MIN. CEILING HEIGHT FOR LIVING, DINING AND KITCHEN AREAS MEASURED FROM FINISHED FLOOR LEVEL TO FINISHED CEILING LEVEL, EXCEPT WHERE SERVICES ARE PROVIDED ABOVE THE KITCHEN.



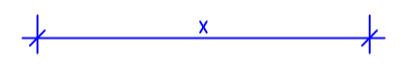
NATURAL CROSS VENTILATION



PRIVATE OPEN SPACE



WINDOWS

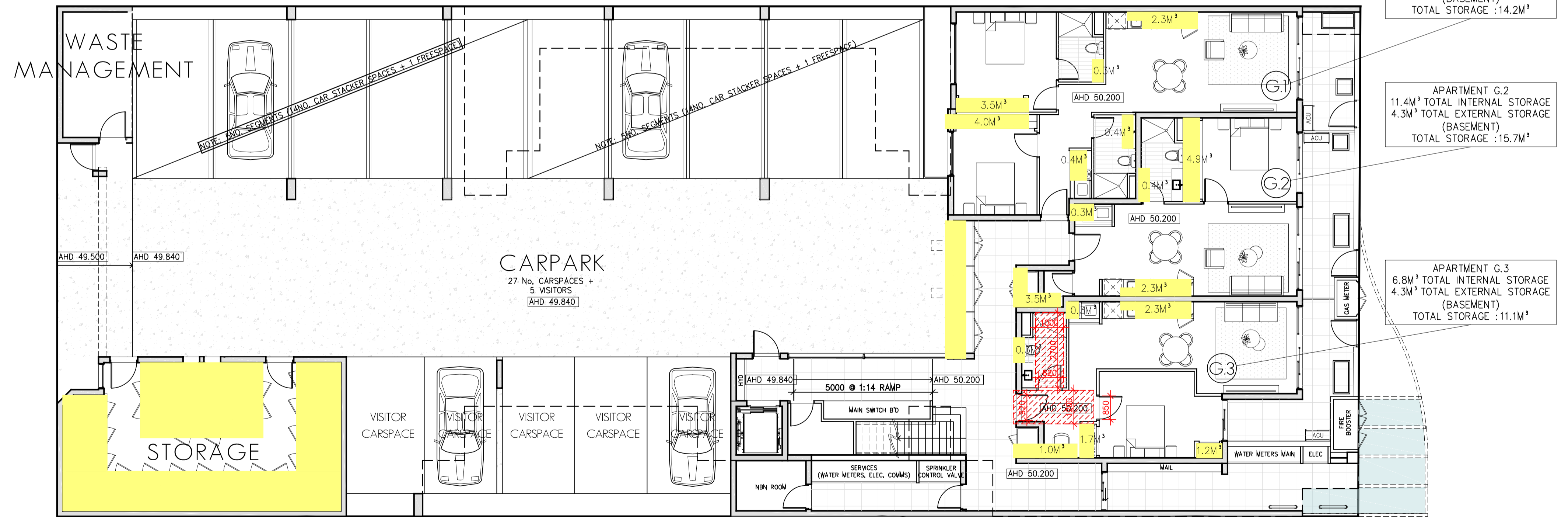
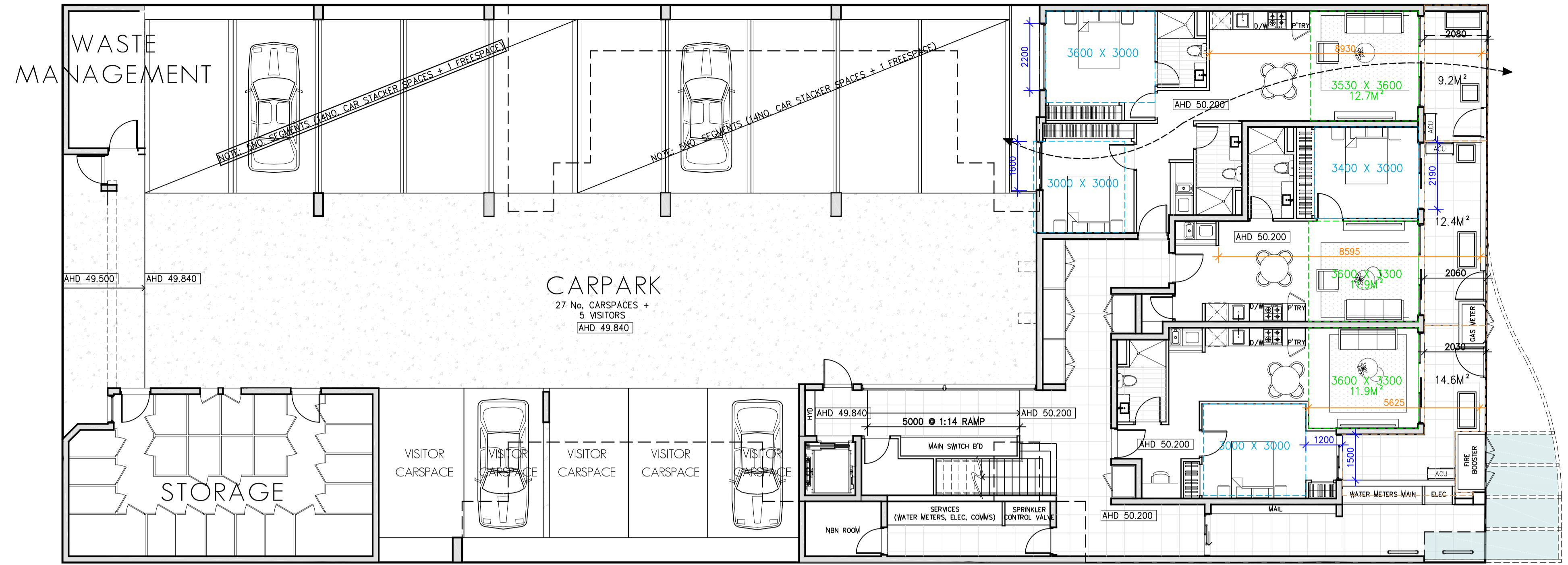
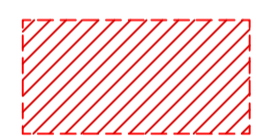


STORAGE

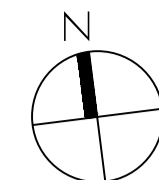
ALL APARTMENTS ARE ALLOCATED 4.3M³ MIN. EXTERNAL STORAGE (LOCATED AT THE GROUND FLOOR)
 KITCHEN STORAGE INCLUDES:
 - UNDERSIDE OF BENCH
 - PANTRY
 - OVERHEAD CUPBOARDS



ACCESSIBILITY



GROUND FLOOR PLAN



ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: MATTHEWA / SL FOR RF

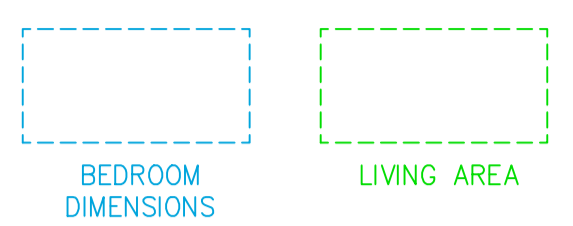
DRAWING TITLE: CLAUSE 58.01 ASSESSMENT
 DATE: 13TH APRIL 2018
 JOB NO: 17 - 119 SCALE: 1:100

LEVEL 1 / 173 UPPER HEIDELBERG ROAD
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 EMAIL: office@petridisarchitects.com.au



BAD ASSESSMENT LEGEND

FUNCTIONAL LAYOUT



ROOM DEPTH
 2700MM MIN. CEILING HEIGHT FOR LIVING, DINING AND KITCHEN AREAS MEASURED FROM FINISHED FLOOR LEVEL TO FINISHED CEILING LEVEL, EXCEPT WHERE SERVICES ARE PROVIDED ABOVE THE KITCHEN.

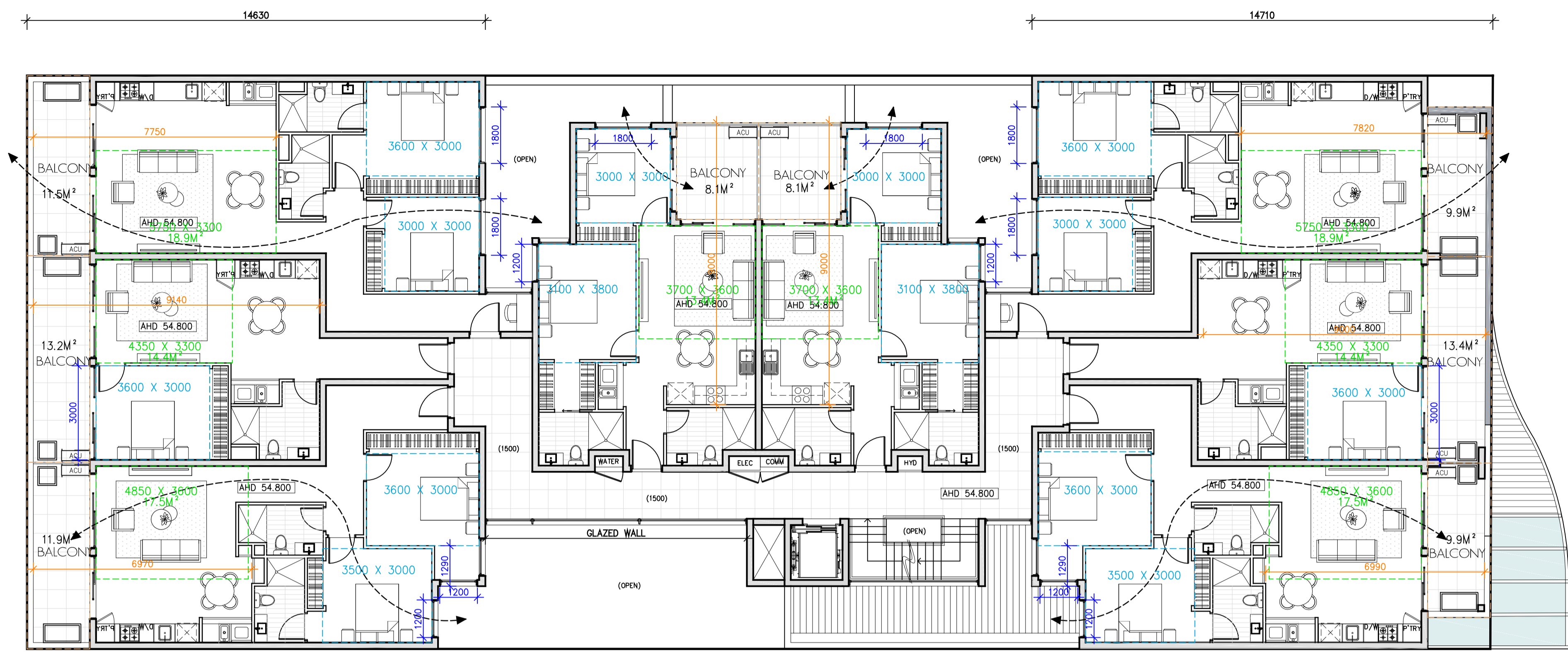
NATURAL CROSS VENTILATION
 BREEZE PATH

PRIVATE OPEN SPACE

WINDOWS

STORAGE
 ALL APARTMENTS ARE ALLOCATED 4.3M³ MIN. EXTERNAL STORAGE (LOCATED AT THE GROUND FLOOR).
 KITCHEN STORAGE INCLUDES:
 - UNDERSIDE OF BENCH
 - PANTRY
 - OVERHEAD CUPBOARDS

ACCESSIBILITY

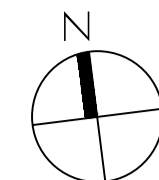


<p>APARTMENT 1.6 11.7M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.0M³</p>	<p>APARTMENT 1.5 9.9M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 14.2M³</p>	<p>APARTMENT 1.4 9.9M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 14.2M³</p>	<p>APARTMENT 1.1 11.7M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.0M³</p>
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<p>APARTMENT 1.7 7.0M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 11.3M³</p>	<p>APARTMENT 1.2 7.0M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 11.3M³</p>
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<p>APARTMENT 1.8 11.9M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.2M³</p>	<p>APARTMENT 1.3 11.9M³ TOTAL INTERNAL STORAGE 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.2M³</p>
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FIRST FLOOR PLAN



ALL LEVELS ARE TO
 AUSTRALIAN HEIGHT DATUM

DRAWN BY: MATTHEWA / SL
 FOR RF

DRAWING TITLE:
 CLAUSE 58.01 ASSESSMENT
 TPA13 - 13 OF 16
 DATE: 13TH APRIL 2018
 SCALE: 1:100

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BAD ASSESSMENT LEGEND

FUNCTIONAL LAYOUT

 BEDROOM DIMENSIONS
 LIVING AREA

ROOM DEPTH

 2700MM MIN. CEILING HEIGHT FOR LIVING, DINING AND KITCHEN AREAS MEASURED FROM FINISHED FLOOR LEVEL TO FINISHED CEILING LEVEL, EXCEPT WHERE SERVICES ARE PROVIDED ABOVE THE KITCHEN.

NATURAL CROSS VENTILATION

 BREEZE PATH

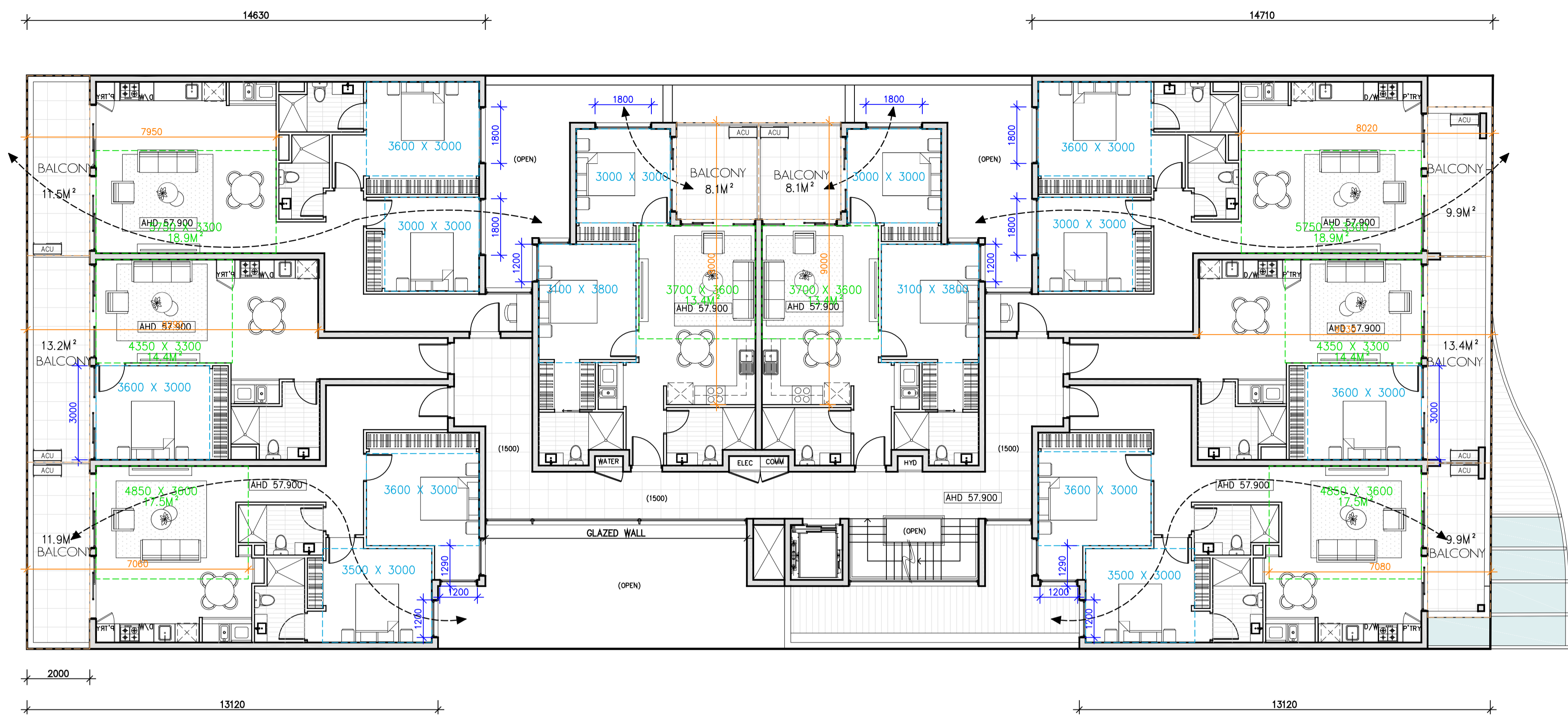
PRIVATE OPEN SPACE

WINDOWS

STORAGE

 ALL APARTMENTS ARE ALLOCATED 4.3M³ MIN. EXTERNAL STORAGE (LOCATED AT THE BASEMENT)
 KITCHEN STORAGE INCLUDES:
 - UNDERSIDE OF BENCH
 - PANTRY
 - OVERHEAD CUPBOARDS

ACCESSIBILITY



APARTMENT 2.6
 11.7M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 16.0M³

APARTMENT 2.5
 9.9M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 14.2M³

APARTMENT 2.4
 9.9M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 14.2M³

APARTMENT 2.1
 11.7M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 16.0M³

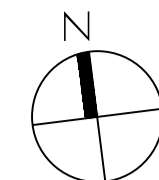
APARTMENT 2.7
 7.0M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 11.3M³

APARTMENT 2.2
 7.0M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 11.3M³

APARTMENT 2.8
 11.9M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 16.2M³

APARTMENT 2.3
 11.9M³ TOTAL INTERNAL STORAGE
 4.3M³ TOTAL EXTERNAL STORAGE (BASEMENT)
 TOTAL STORAGE : 16.2M³

SECOND FLOOR PLAN



ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: MATTHEWA / SL FOR RFI

DRAWING TITLE: CLAUSE 58.01 ASSESSMENT TPA14 - 14 OF 16 DATE: 13TH APRIL 2018 SCALE: 1:100

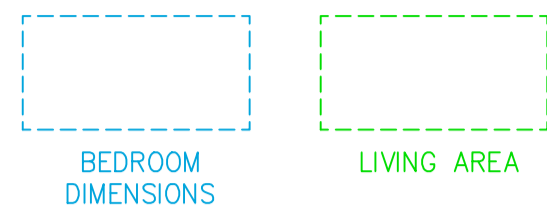
LEVEL 1 / 173 UPPER HEIDELBERG ROAD IVANHOE 3079

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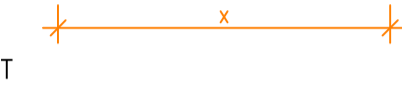
BAD ASSESSMENT LEGEND

FUNCTIONAL LAYOUT

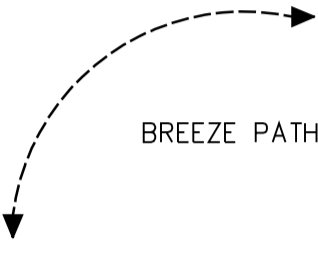


ROOM DEPTH

2700MM MIN. CEILING HEIGHT FOR LIVING, DINING AND KITCHEN AREAS MEASURED FROM FINISHED FLOOR LEVEL TO FINISHED CEILING LEVEL, EXCEPT WHERE SERVICES ARE PROVIDED ABOVE THE KITCHEN.



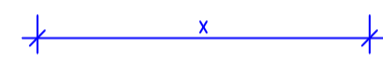
NATURAL CROSS VENTILATION



PRIVATE OPEN SPACE



WINDOWS

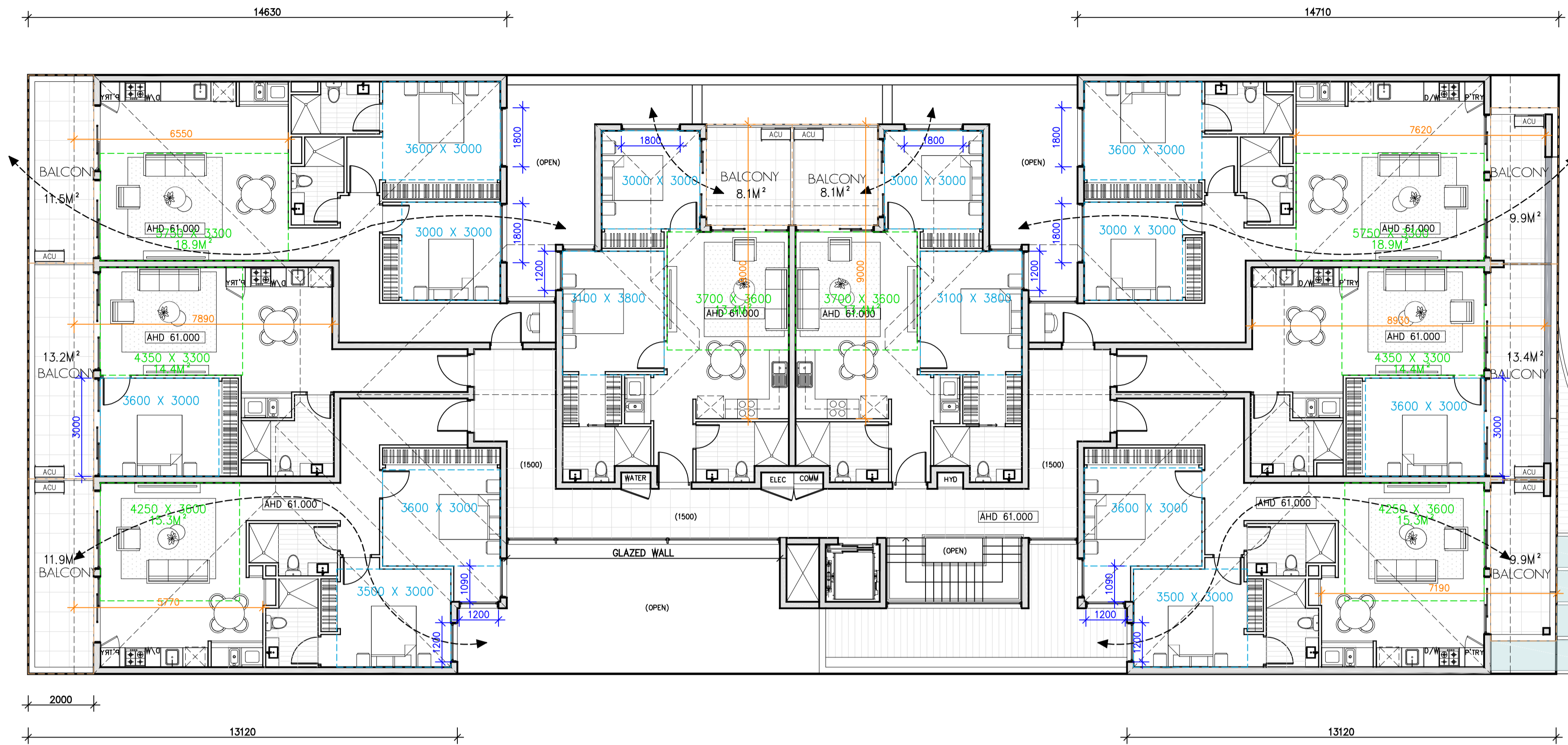
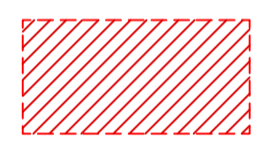


STORAGE

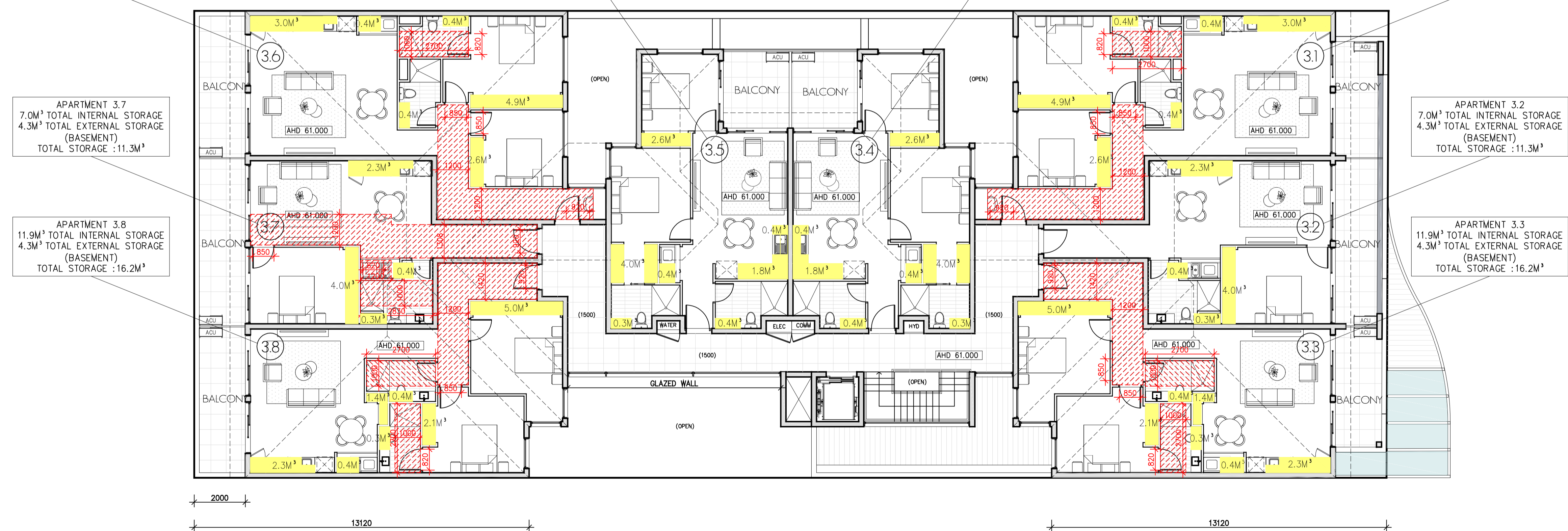
ALL APARTMENTS ARE ALLOCATED 4.3M³ MIN. EXTERNAL STORAGE (LOCATED AT THE BASEMENT)
 KITCHEN STORAGE INCLUDES:
 - UNDERSIDE OF BENCH
 - PANTRY
 - OVERHEAD CUPBOARDS



ACCESSIBILITY



APARTMENT 3.6 11.7M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.0M ³	APARTMENT 3.5 9.9M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 14.2M ³	APARTMENT 3.4 9.9M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 14.2M ³	APARTMENT 3.1 11.7M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.0M ³
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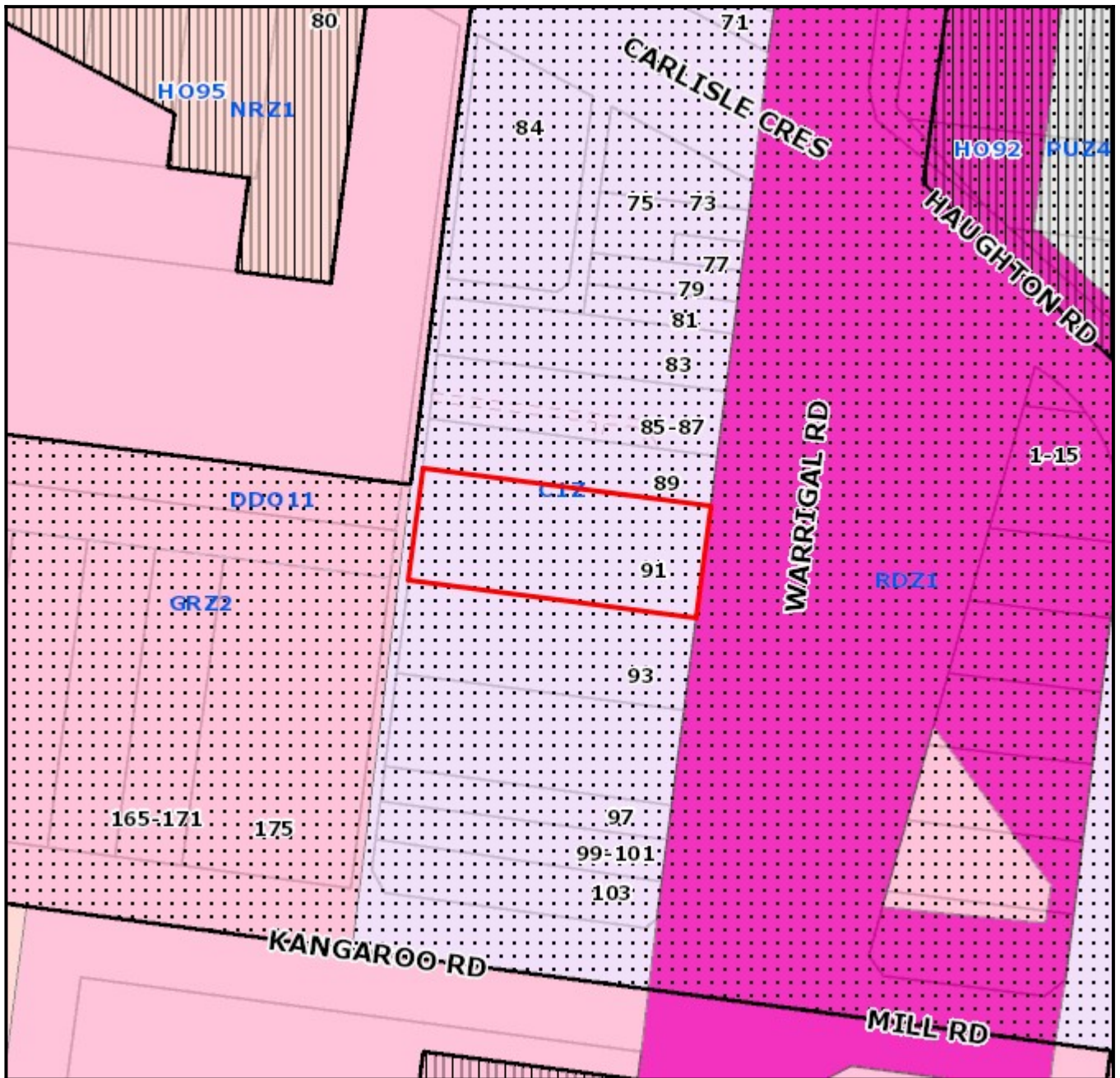
APARTMENT 3.7 7.0M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 11.3M ³	APARTMENT 3.2 7.0M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 11.3M ³
APARTMENT 3.8 11.9M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.2M ³	APARTMENT 3.3 11.9M ³ TOTAL INTERNAL STORAGE 4.3M ³ TOTAL EXTERNAL STORAGE (BASEMENT) TOTAL STORAGE : 16.2M ³

THIRD FLOOR PLAN





Planning Overlays and Zones



Legend

Planning Zones

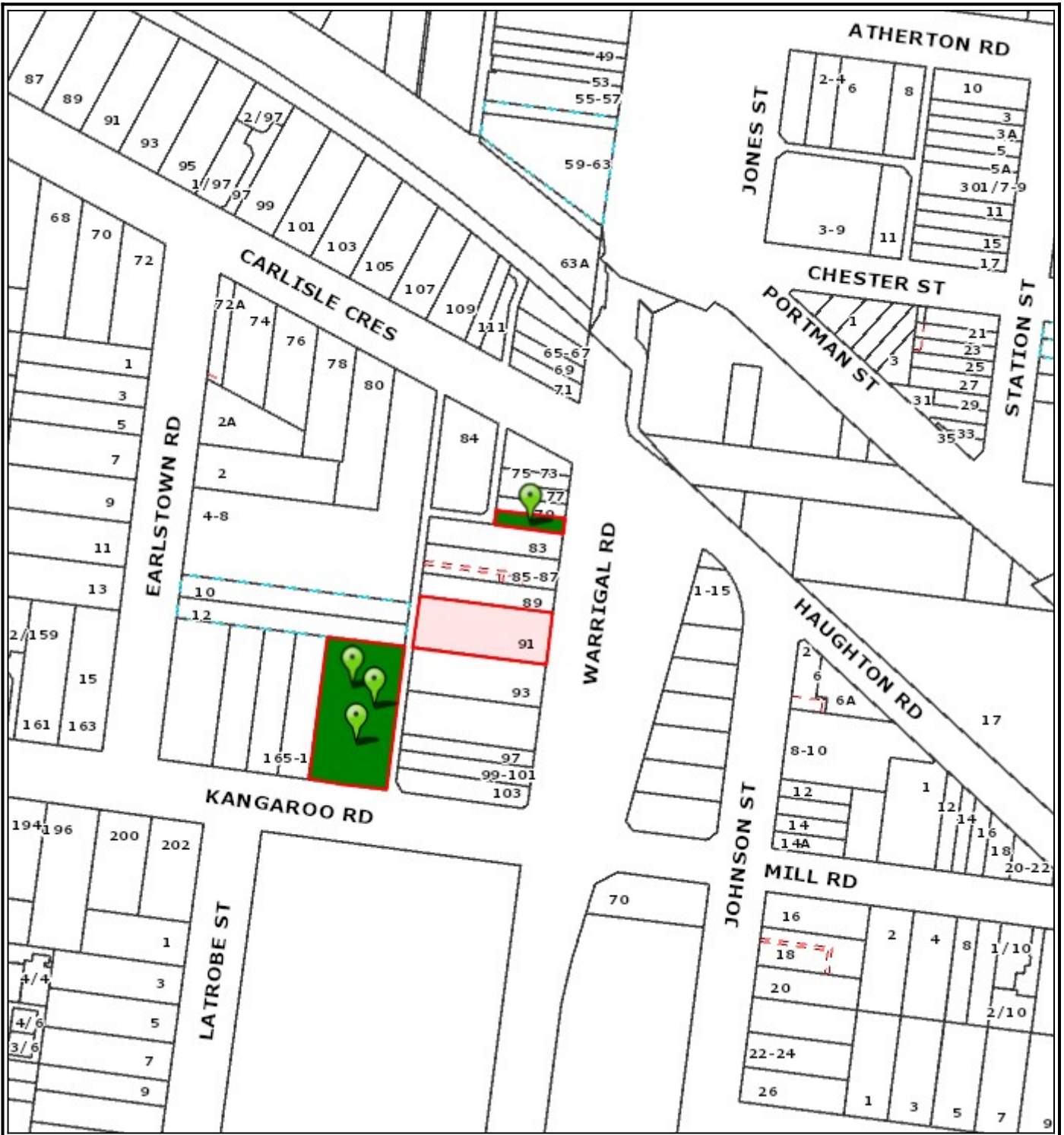
Planning Overlays

N
1:1000

Address

91 Warrigal Road HUGHESDALE VIC 3166

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Objector Map

Subject land shaded light red. Objector property shaded dark green and pinpointed. (Not all objector properties shown).

- Railway Lines
- Arterial Roads
- Arterial Roads
- Local Roads
- Proposed Roads
- Crown Open Space
- Monash Reserve / Open Space
- Non Monash Open Space
- Pipe Track
- Public Golf Course
- Public Golf Course Crown Open Space
- Monash Region
- Leash Free Areas
- Property & Address No.
- Common Property



1:2000



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