



T H .01		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	75.64
		75.64 m²
PARKING	Basement	39.98
		39.98 m²
4 BED	Ground	99.92
	First	100.55
		200.47 m²
	Basement	15.24

T H .02		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	75.39
		75.39 m²
PARKING	Basement	39.98
		39.98 m²
4 BED	Ground	80.99
	First	76.66
		157.65 m²
	Basement	15.23

T H .03		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	76.66
		76.66 m²
PARKING	Basement	39.98
		39.98 m²
4 BED	Ground	80.99
	First	76.69
		157.68 m²
	Basement	15.20

T H .04		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	110.24
		110.24 m²
PARKING	Basement	39.05
		39.05 m²
4 BED	Ground	97.20
	First	75.16
		172.36 m²
	Basement	14.85

T H .05		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	135.18
		135.18 m²
PARKING	Basement	39.97
		39.97 m²
3 BED	Ground	72.87
	First	79.48
		152.35 m²
	Basement	18.78

T H .06		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	118.68
		118.68 m²
PARKING	Basement	39.99
		39.99 m²
4 BED	Ground	94.65
	First	76.16
		170.81 m²
	Basement	53.56

T H .07		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	106.14
		106.14 m²
PARKING	Basement	40.01
		40.01 m²
4 BED	Ground	83.58
	First	77.57
		161.15 m²
	Basement	21.83

T H .08		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	75.50
		75.50 m²
PARKING	Basement	40.00
		40.00 m²
4 BED	Ground	82.19
	First	77.45
		159.64 m²
	Basement	21.83

T H .09		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	75.73
		75.73 m²
PARKING	Basement	40.00
		40.00 m²
4 BED	Ground	82.29
	First	77.46
		159.75 m²
	Basement	21.81

T H .10		
ZONE TYPE	LOCATION	AREA (M2)
POS	Ground	75.61
		75.61 m²
PARKING	Basement	39.99
		39.99 m²
4 BED	Ground	98.85
	First	91.27
		190.12 m²
	Basement	21.83

2 4 6 - 2 5 0 H I G H B U R Y R O A D

MOUNT WAVERLEY

TOWN PLANNING APPLICATION

CHAMBERLAIN ARCHITECTS

**AMENDMENTS
RESPONSE TO RF1**

DRAWING INDEX

No.	DRAWING NAME
TP0.01	Development Summary
TP2.01	Neighbourhood & Site Plan
TP2.02	Demolition Plan
TP2.03	Design Response
TP2.04	Garden Area Plan
TP2.05	Ground Levels Plan
TP3.01	Proposed Basement Plan
TP3.02	Proposed Ground Plan
TP3.03	Proposed First Plan
TP3.04	Proposed Roof Plan
TP4.01	External Materials & Finishes
TP4.02	Proposed Elevations
TP4.03	Proposed Elevations
TP5.01	Proposed Sections
TP5.02	Proposed Sections
TP5.03	Proposed Sections
TP5.04	Proposed Sections
TP6.01	Shadow Diagrams - 09AM Sept. 22nd
TP6.02	Shadow Diagrams - 11AM Sept. 22nd
TP6.03	Shadow Diagrams - 1PM Sept. 22nd
TP6.04	Shadow Diagrams - 3PM Sept. 22nd
TP7.01	Artist Impressions

SITE & MASSING ANALYSIS

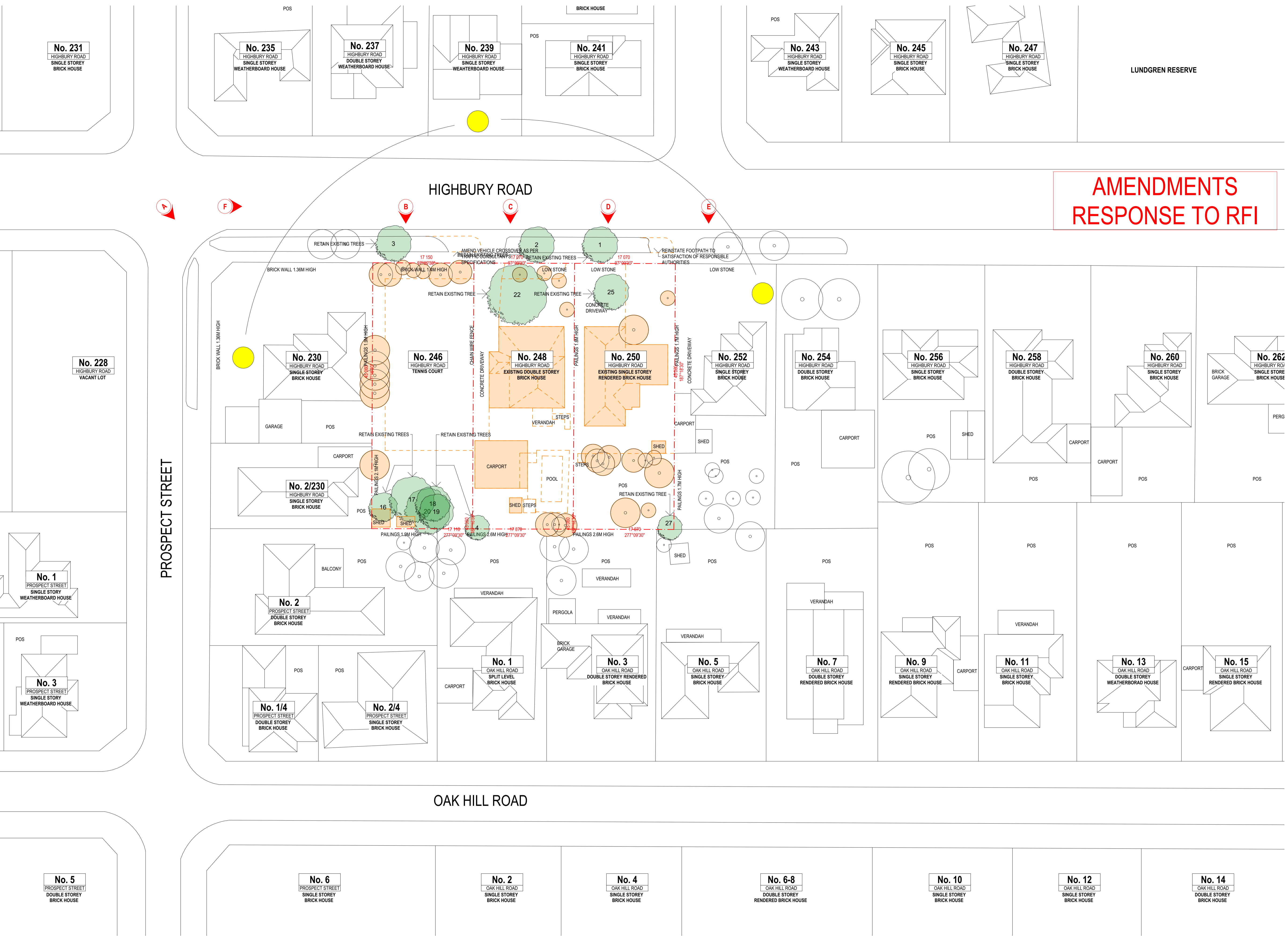
	AREA (M2)
Total Site Area	2,306.77
Permeable Area	38.2%
Site Coverage Area	44.7%
	1,032.12

DEVELOPMENT SUMMARY

Townhouses - 4 No. Bedroom	9
Townhouses - 3 No. Bedroom	1
Total	10
Private Parking (2 x 10)	20
Visitor Parking	2
Total Carparks	22
Carpark Area (Private)	398.95 m²
Bike Racks - space provided within private garages	-

STORAGE SUMMARY

UNIT	(m3)
TH01	22
TH02	23
TH03	23
TH04	23
TH05	16
TH06	100
TH07	34
TH08	34
TH09	34
TH10	33



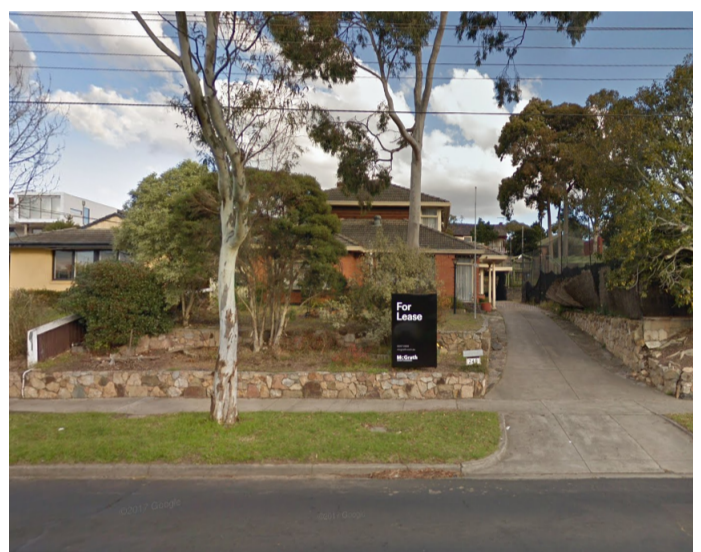
**AMENDMENTS
RESPONSE TO RFI**



A 230 Highbury Road - Adjoining Property



B 246 Highbury Road - Subject Site



C 248 Highbury Road - Subject Site



D 250 Highbury Road - Subject Site



E 251 Highbury Road - Adjoining Property



F Highbury Road - Street Context

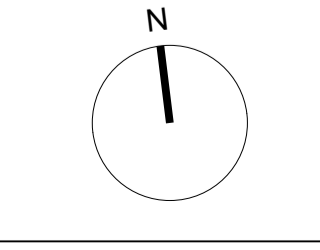
REV.	DETAILS	DATE
1	RESPONSE TO RFI	02.11.2018
2	AMENDMENTS FOR TOWN PLANNING	24.10.2018
3	ISSUED FOR TOWN PLANNING	15.06.2018

Name & Tel	Name & Tel	Name & Tel
Author Name & Tel	Client Name & Tel	Designer Name & Tel
Drawn Name & Tel	Checked Name & Tel	Project Name & Tel
Project Name & Tel	Project Name & Tel	Project Name & Tel

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Project Name & Tel	Project Name & Tel	Project Name & Tel

CHAMBERLAIN ARCHITECTS
 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

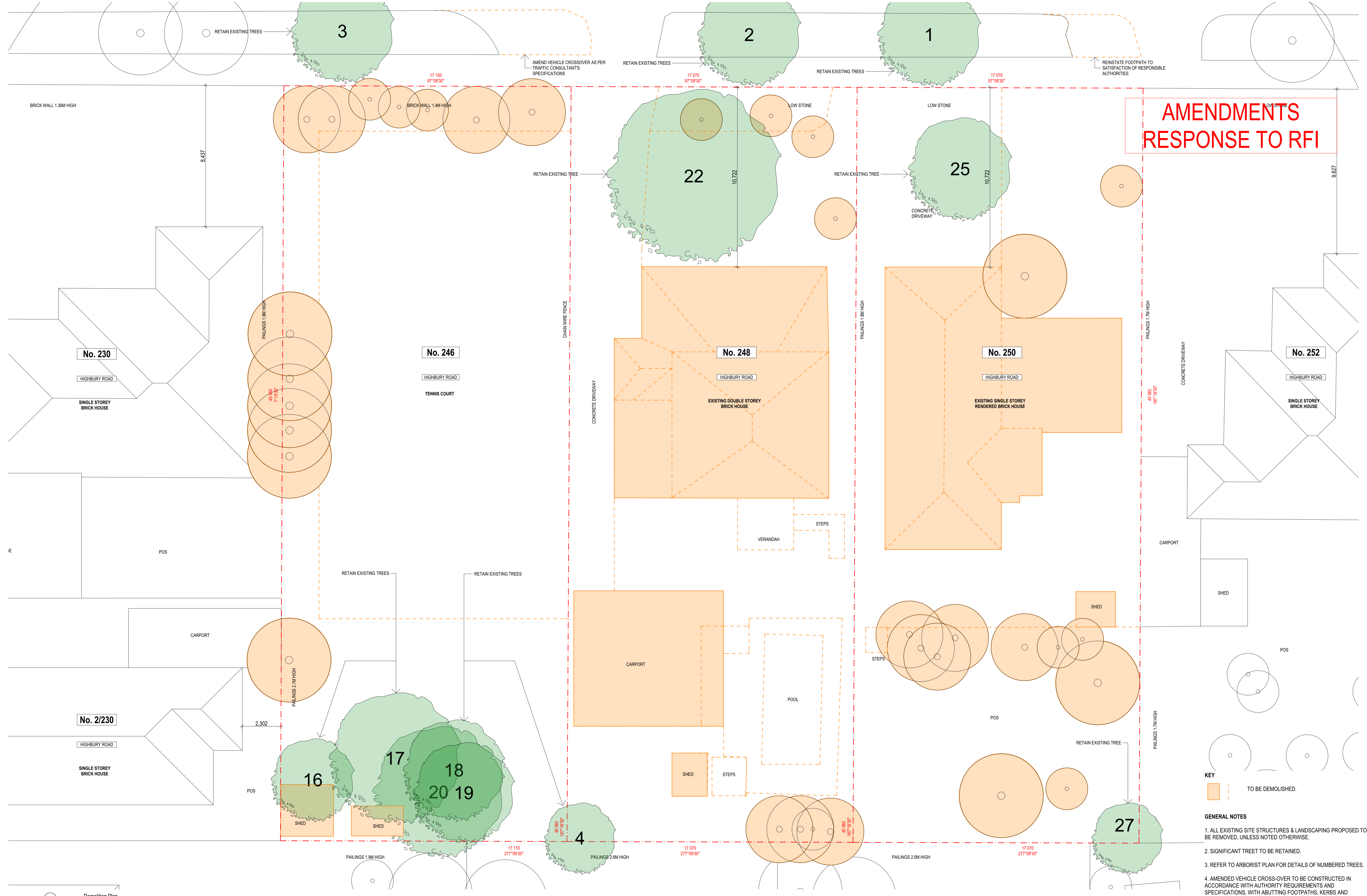
CLIENT: **Pentagon Group**
 PROJECT NO: **18005**
 PROJECT: **Highbury Road**
 246-250 Highbury Road, Mount Waverley



DRAWING TITLE	DRAWING NUMBER	REVISION
Neighbourhood & Site Plan	TP2.01	
DRAWN	CHECKED	
SCALE @ A1		
FILE:RPN.PAR		

STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI



KEY
 TO BE DEMOLISHED.

- GENERAL NOTES**
1. ALL EXISTING SITE STRUCTURES & LANDSCAPING PROPOSED TO BE REMOVED, UNLESS NOTED OTHERWISE.
 2. SIGNIFICANT TREE TO BE RETAINED.
 3. REFER TO ARBORIST PLAN FOR DETAILS OF NUMBERED TREES.
 4. AMENDED VEHICLE CROSS-OVER TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY REQUIREMENTS AND SPECIFICATIONS, WITH ABUTTING FOOTPATHS, KERBS AND NATURE STRIP TO BE MADE GOOD.

01 Demolition Plan 1:100

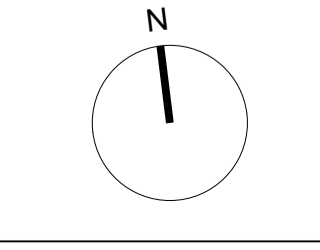
RESPONSE TO RFI	EP	02.11.2018
AMENDMENTS FOR TOWN PLANNING	EP	24.10.2018
ISSUED FOR TOWN PLANNING	EP	15.06.2018
REV. DETAILS	BY	DATE

All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Author Name & Tel	Author Name & Tel	Author Name & Tel
Client Name & Tel	Client Name & Tel	Client Name & Tel
Project Name & Tel	Project Name & Tel	Project Name & Tel
Project Name & Tel	Project Name & Tel	Project Name & Tel

CHAMBERLAIN ARCHITECTS
 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

CLIENT	Pentagon Group
PROJECT NO.	18005
PROJECT	Highbury Road
ADDRESS	246-250 Highbury Road, Mount Waverley



DRAWING TITLE	Demolition Plan
DRAWING NUMBER	TP2.02
STATUS	TOWN PLANNING

HIGHBURY ROAD

AMENDMENTS RESPONSE TO RFI

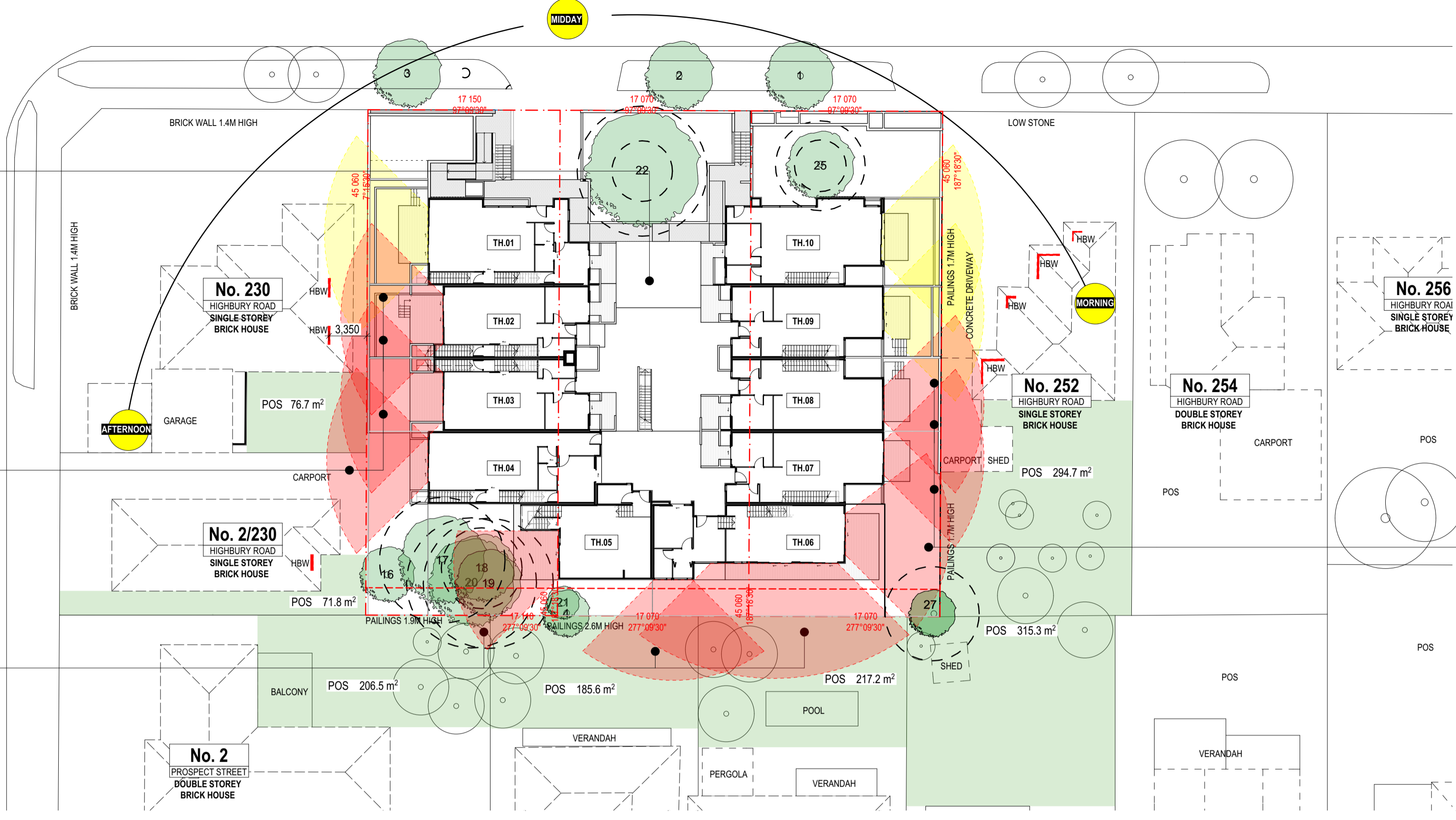
STANDARD B23
ALL GROUND FLOOR WINDOWS FACING THE CENTRAL COURTYARD ARE EITHER BATHROOM OR BEDROOM WINDOWS.
ALL BATHROOM WINDOWS FACING COURTYARD ARE FULL HEIGHT OBSCURE GLAZING.
ALL BEDROOMS FACING COURTYARD HAVE FIXED SCREENS SURROUNDING THE PERIMETER OF PRIVATE OPEN SPACE TO PROTECT WINDOWS / GLAZED DOORS FROM OVERLOOKING & DIRECT VIEWS.

STANDARD B22
WEST BOUNDARY FENCES TO BE A MINIMUM HEIGHT OF 1.8M FROM GROUND LEVEL TO PREVENT OVERLOOKING INTO NEIGHBOURING POS

STANDARD B22
SOUTH BOUNDARY FENCES TO BE A MINIMUM HEIGHT OF 1.8M FROM GROUND LEVEL TO PREVENT OVERLOOKING INTO NEIGHBOURING POS

01 Design Response, Ground
1:300

PROSPECT STREET



STANDARD B22
EAST BOUNDARY FENCES TO BE A MINIMUM HEIGHT OF 1.8M FROM GROUND LEVEL TO AVOID OVERLOOKING INTO NEIGHBOURING POS

STANDARD B23
NO INTERNAL OVERLOOKING BETWEEN TOWNHOUSES 01 - 03 & 06 - 10.

STANDARD B22
FIXED, EXTERNAL BATTENED SCREENING TO TH02, 03 & 04 BEDROOM WINDOWS UP TO 1.7M FROM FFL TO PREVENT OVERLOOKING INTO NEIGHBOURING POS

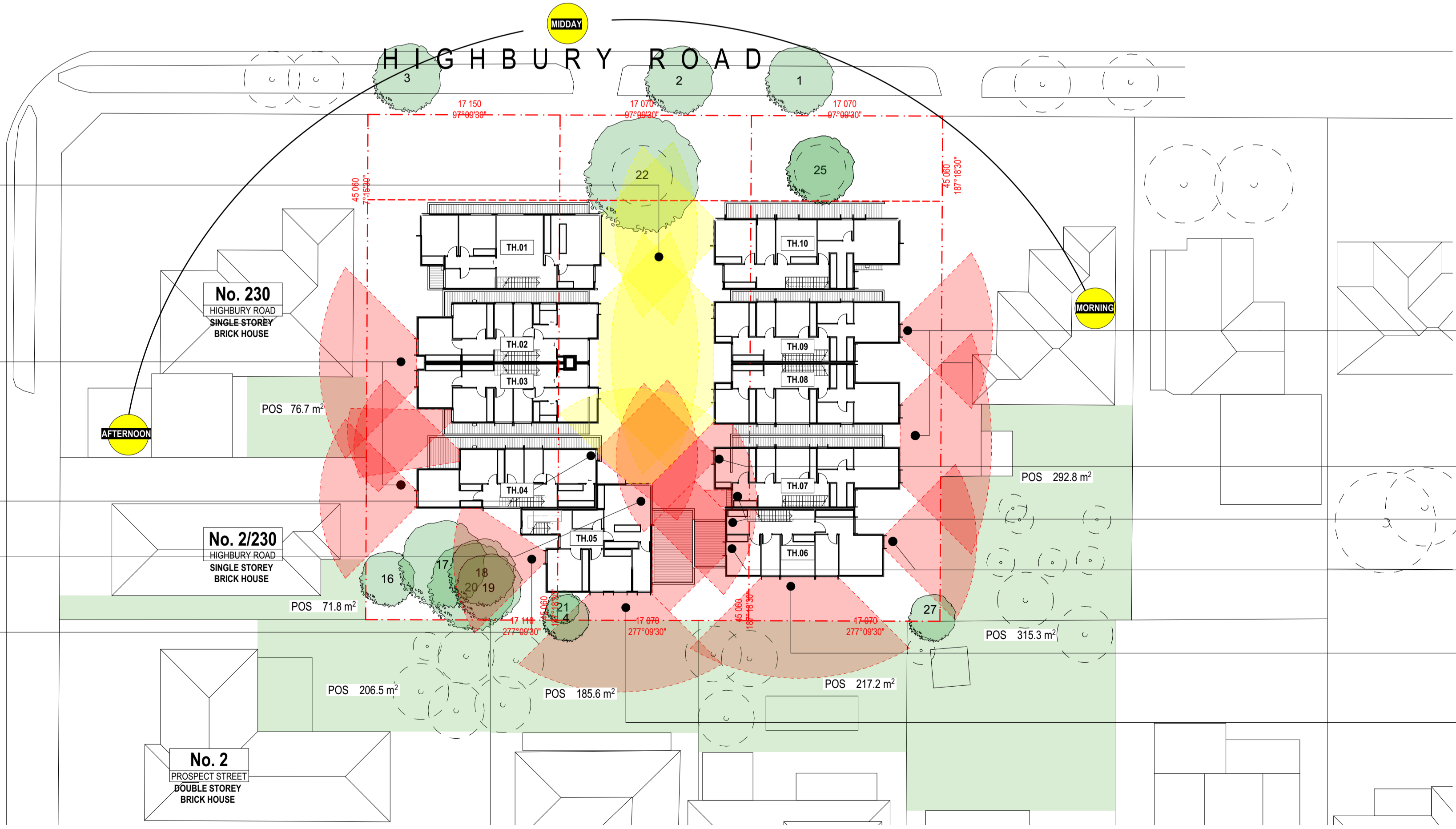
STANDARD B23
BEDROOM WINDOW SILLS SET MINIMUM 1.7M ABOVE FFL TO AVOID OVERLOOKING BETWEEN TOWNHOUSES

STANDARD B23
EXTERNALLY FIXED LOUVRES TO EAST FACING BEDROOM WINDOW TO AVOID OVERLOOKING INTO TOWNHOUSE

STANDARD B22
WINDOW TO BEDROOM INCLUDES EXTERNALLY FIXED WINDOW SHROUD TO REDUCE OVERLOOKING. MINIMAL OVERLOOKING OCCURS INTO BACK CORNER OF NO.2 PROSPECT STREET AND IS DEEMED NOT SIGNIFICANT

02 Design Response, First
1:300

PROSPECT STREET



STANDARD B22
FIXED, EXTERNAL BATTENED SCREENING TO TH07, 08 & 09 BEDROOM WINDOWS UP TO 1.7M FROM FFL TO AVOID OVERLOOKING INTO NEIGHBOURING POS

STANDARD B23
FIXED, EXTERNAL SCREENING UP TO 1.7M FROM FFL TO BEDROOM WINDOW TO AVOID INTERNAL OVERLOOKING BETWEEN TOWNHOUSES

STANDARD B23
STUDY WINDOW SILLS SET MINIMUM 1.7M ABOVE FFL TO AVOID OVERLOOKING BETWEEN TOWNHOUSES

STANDARD B22 & B23
FIXED, EXTERNAL SCREENING UP TO 1.7M FROM FFL TO BEDROOM WINDOW TO AVOID INTERNAL OVERLOOKING BETWEEN TOWNHOUSES AND TO NEIGHBOURING POS

STANDARD B22
BATHROOM AND BEDROOM WINDOW SILLS SET MINIMUM 1.7M ABOVE FFL TO AVOID OVERLOOKING INTO NEIGHBOURING POS

STANDARD B22
FIXED, EXTERNAL BATTENED SCREENING TO BEDROOM AND BATHROOM WINDOWS UP TO 1.7M FROM FFL TO AVOID OVERLOOKING INTO NEIGHBOURING POS

- ABBREVIATIONS**
- A/C AIR CONDITIONING PLANT
 - FFL FINISHED FLOOR LEVEL
 - FCL FINISHED CEILING LEVEL
 - HBW HABITABLE ROOM WINDOW
 - HW HOT WATER UNIT
 - POS PRIVATE OPEN SPACE
 - TPZ TREE PROTECTION ZONE

- KEY**
- Existing Habitable Windows
 - 9m overlooking arc into neighbouring POS or Habitable Windows occurs. Screening or the like is required.
 - 9m overlooking arc into neighbouring POS or Habitable Windows does not occur.
 - Neighbouring POS.

ESD INITIATIVE

The ESD report associated with these plans forms part of the Town Planning Submission and is therefore required to be read in conjunction with the drawings, notes and specifications and applied accordingly.

GENERAL NOTES

All existing site structures & landscaping proposed to be removed, unless noted otherwise. Significant trees to be retained, as noted.

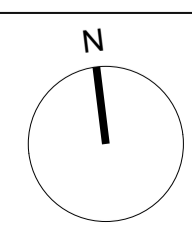
Amended Vehicle cross-over to be constructed in accordance with authority requirements and specifications, with abutting footpaths, kerbs and nature strip to be 'made good'.

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CHAMBERLAIN ARCHITECTS

1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group
PROJECT NO
18005
PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



DRAWING TITLE
Design Response
DRAWN
SCALE
@ A1
FILE:RPN.PDR

DRAWING NUMBER
TP2.03

REVISION

STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

GARDEN AREA KEY

BASEMENT PROJECTING ABOVE NGL

GARDEN AREA

GARDEN AREA SCHEDULE

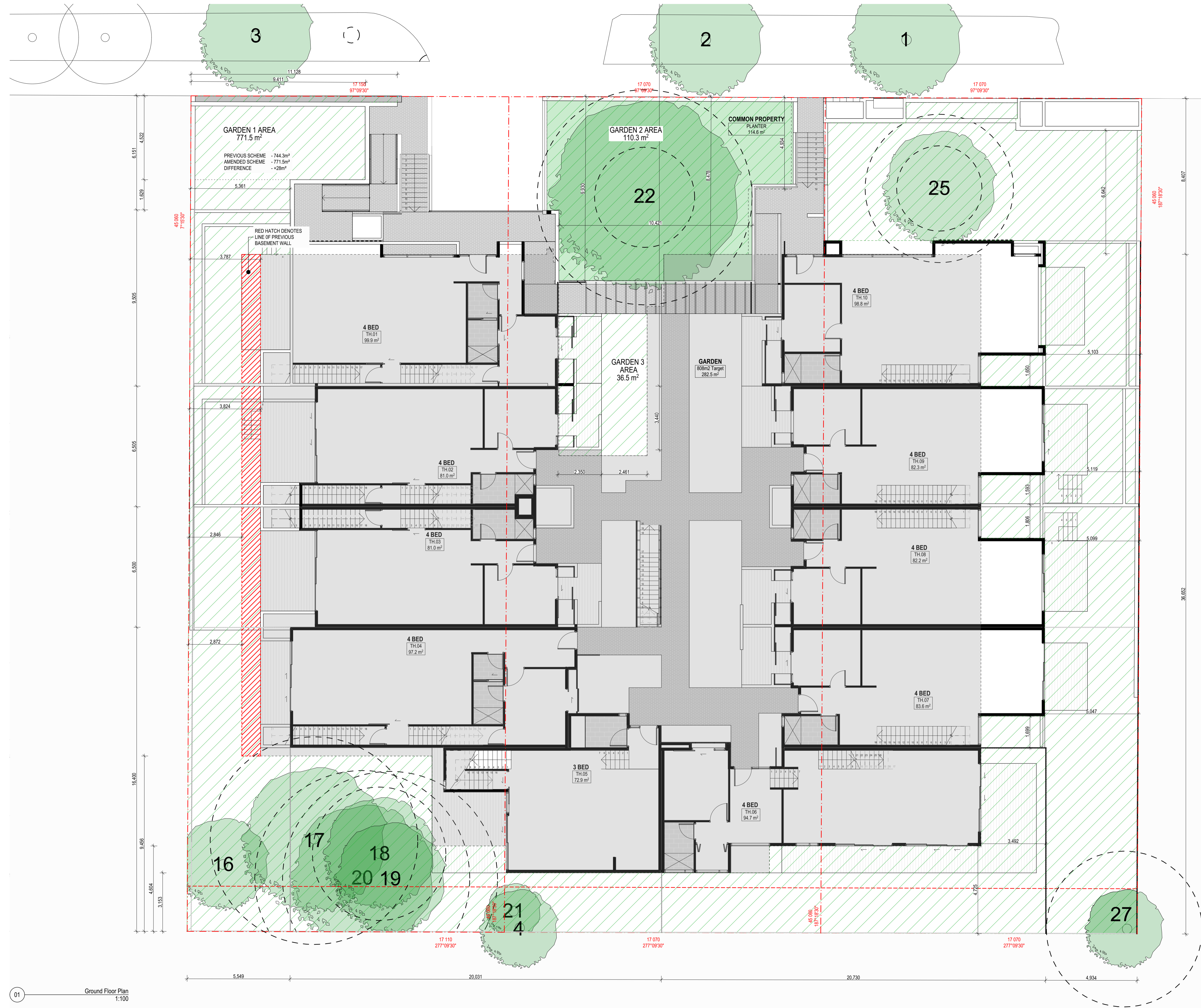
TOTAL SITE AREA = 2,306.77m²

TOTAL GARDEN AREA m² = 918.3m²
(GARDEN 1 + 2 + 3)

GARDEN AREA % = 40%

COMPLIANT TO:

- CLAUSE 32.08-4 MINIMUM GARDEN AREA REQUIREMENT OF 35%
- CLAUSE 55 STANDARD B9 PERMEABILITY REQUIREMENT OF 20%



01 Ground Floor Plan 1:100

REV. DETAILS	RESPONSE TO RFI AMENDMENTS FOR TOWN PLANNING ISSUED FOR TOWN PLANNING	DATE	02.11.2018 24.10.2018 15.06.2018
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Author Name & Tel	Client Name & Tel	Project Name	Project No
Author Name & Tel	Client Name & Tel	Project Name	Project No
Author Name & Tel	Client Name & Tel	Project Name	Project No

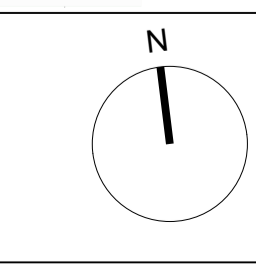
CHAMBERLAIN ARCHITECTS

1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group


PROJECT NO
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



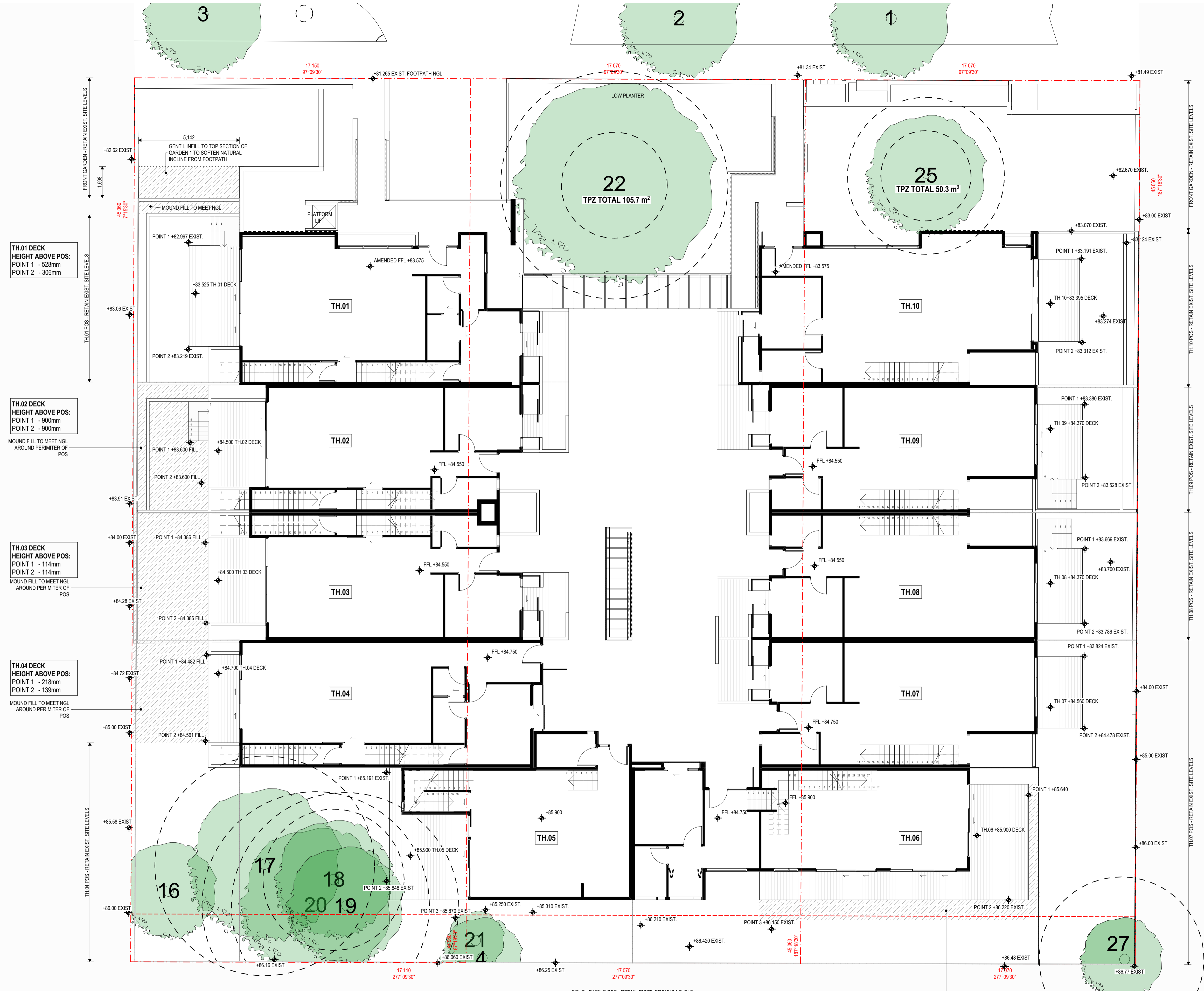
DRAWING TITLE	Garden Area Plan	DRAWING NUMBER	TP2.04	REVISION	A
DRAWN	CHECKED	SCALE	@ A1	STATUS:	TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

KEY
 NGL REQUIRING FILL OR SHAPING.

GENERAL PRIVATE OPEN SPACE STRATEGY:

- TO RETAIN EXISTING NGL BETWEEN BOUNDARY (N, S, E & W) TO BUILDING WHERE FEASIBLE.
- REAR DECKS TO HAVE STAIRS DOWN TO NGL AS REQUIRED.
- WHERE NGL IS UNEVEN AND CREATES UNUSABLE POS SPACE, GROUND TO BE FILLED TO CREATE A MORE EVEN SURFACE.
- FILL TO BE SHAPED TO MEET NGL AT BOUNDARY IN ALL INSTANCES.
- NO RETAINING WALLS ON THE BOUNDARY. WALLS SHOWN ARE BRICK FENCES.



TH.01 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 528mm
 POINT 2 - 306mm

TH.02 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 900mm
 POINT 2 - 900mm

TH.03 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 114mm
 POINT 2 - 114mm

TH.04 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 218mm
 POINT 2 - 139mm

TH.10 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 204mm
 POINT 2 - 83mm

TH.09 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 990mm
 POINT 2 - 842mm

TH.08 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 700mm
 POINT 2 - 584mm

TH.07 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 736mm
 POINT 2 - 82mm

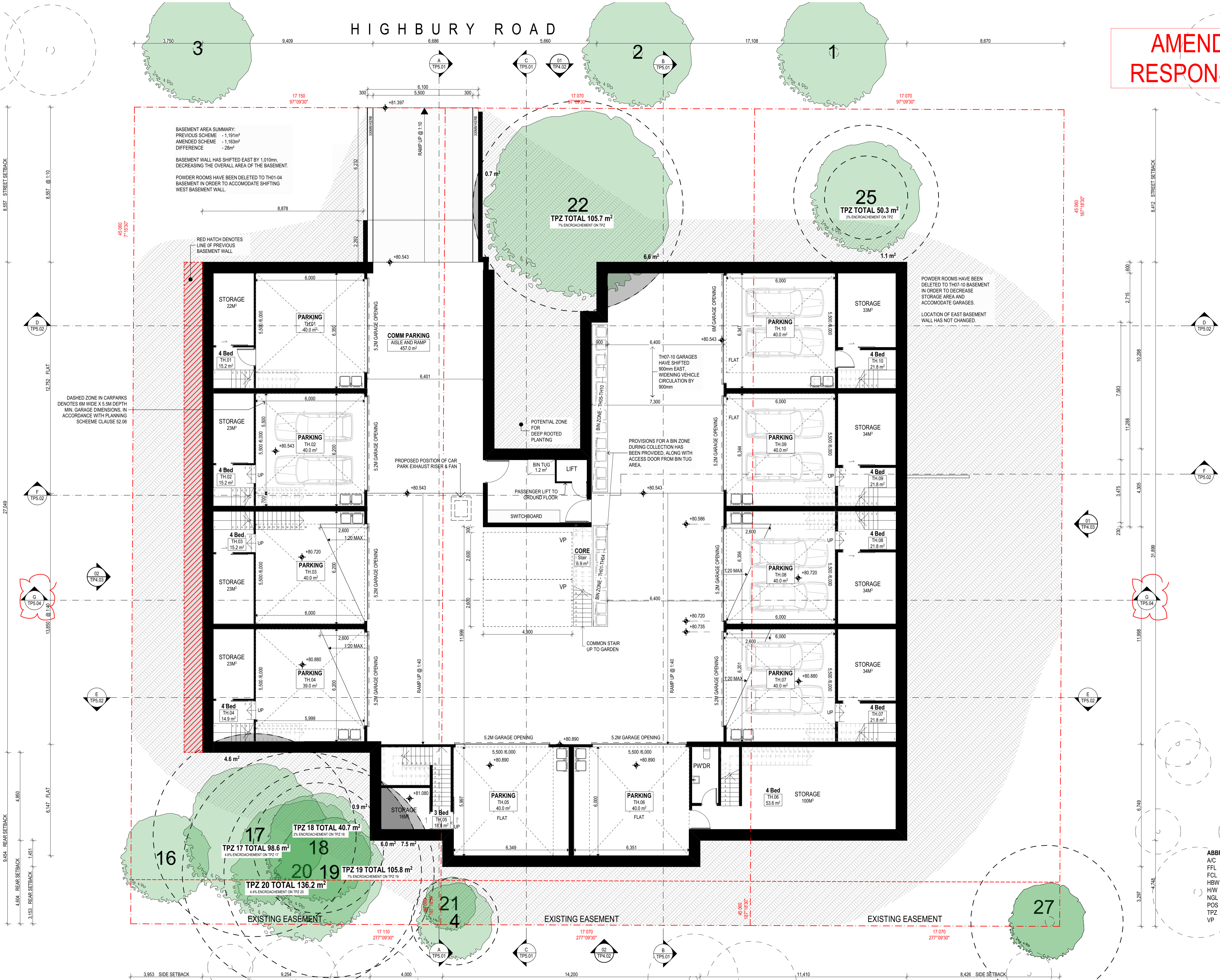
TH.05 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 709mm
 POINT 2 - 52mm
 POINT 3 - 30mm

TH.06 DECK
 HEIGHT ABOVE POS:
 POINT 1 - 260mm
 POINT 2 - 320mm
 POINT 3 - 250mm

SHAPE GROUND TO RESOLVE LEVEL DIFFERENCE AT DECK THRESHOLD. NO WORK TO BE CARRIED OUT IN TREE 27 TPZ.

01 Ground Levels 1:100

AMENDMENTS RESPONSE TO RFI



BASEMENT AREA SUMMARY:
 PREVIOUS SCHEME - 1,191m²
 AMENDED SCHEME - 1,163m²
 DIFFERENCE - 28m²

BASEMENT WALL HAS SHIFTED EAST BY 1,010mm, DECREASING THE OVERALL AREA OF THE BASEMENT.

POWDER ROOMS HAVE BEEN DELETED TO TH01-04 BASEMENT IN ORDER TO ACCOMMODATE SHIFTING WEST BASEMENT WALL.

POWDER ROOMS HAVE BEEN DELETED TO TH07-10 BASEMENT IN ORDER TO DECREASE STORAGE AREA AND ACCOMMODATE GARAGES.

LOCATION OF EAST BASEMENT WALL HAS NOT CHANGED.

DASHED ZONE IN CARPARKS DENOTES 6M WIDE X 5.5M DEPTH MIN. GARAGE DIMENSIONS, IN ACCORDANCE WITH PLANNING SCHEME CLAUSE 52.06

RED HATCH DENOTES LINE OF PREVIOUS BASEMENT WALL

- ABBREVIATIONS**
- A/C AIR CONDITIONING PLANT
 - FFL FINISHED FLOOR LEVEL
 - FCL FINISHED CEILING LEVEL
 - HBW HABITABLE ROOM WINDOW
 - HW HOT WATER UNIT
 - NGL NATURAL GROUND LEVEL
 - POS PRIVATE OPEN SPACE
 - TPZ TREE PROTECTION ZONE
 - VP VISITOR PARKING

REV. DETAILS

8 RESPONSE TO RFI
 A AMENDMENTS FOR TOWN PLANNING
 EP ISSUED FOR TOWN PLANNING

EP 02.11.2018
 EP 24.10.2018
 EP 15.06.2018
 BY DATE

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Author Name & Tel	Author Name & Tel	Author Name & Tel	Author Name & Tel
Client Name & Tel	Client Name & Tel	Client Name & Tel	Client Name & Tel

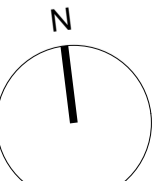
CHAMBERLAIN ARCHITECTS

1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

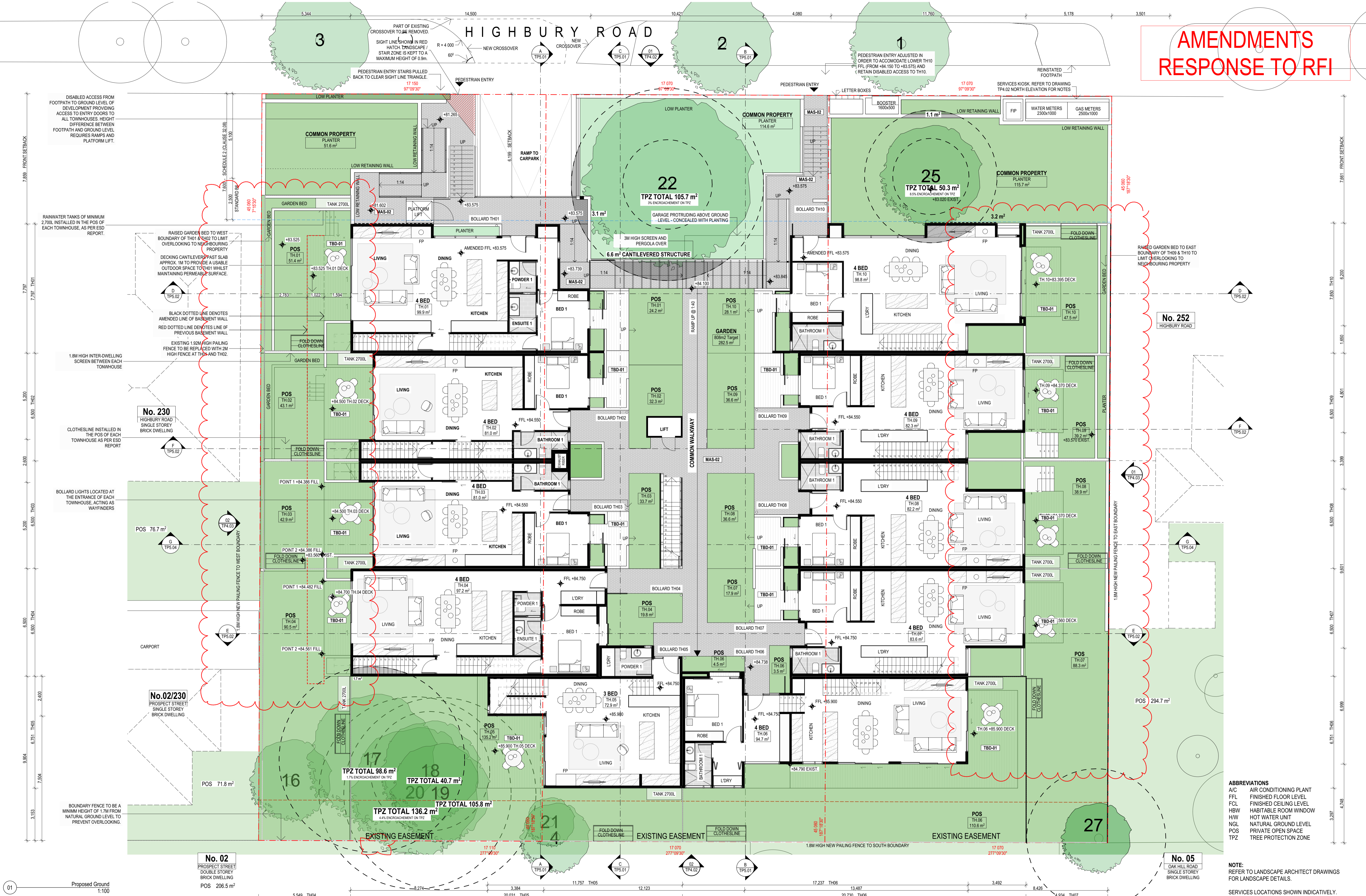
CLIENT **Pentagon Group**
 PROJECT NO. 18005
Highbury Road
 246-250 Highbury Road, Mount Waverley

DRAWING TITLE **Proposed Basement Plan**
 DRAWN @ A1
 CHECKED

DRAWING NUMBER **TP3.01**
 REVISION **B**
 STATUS: TOWN PLANNING



AMENDMENTS RESPONSE TO RFI

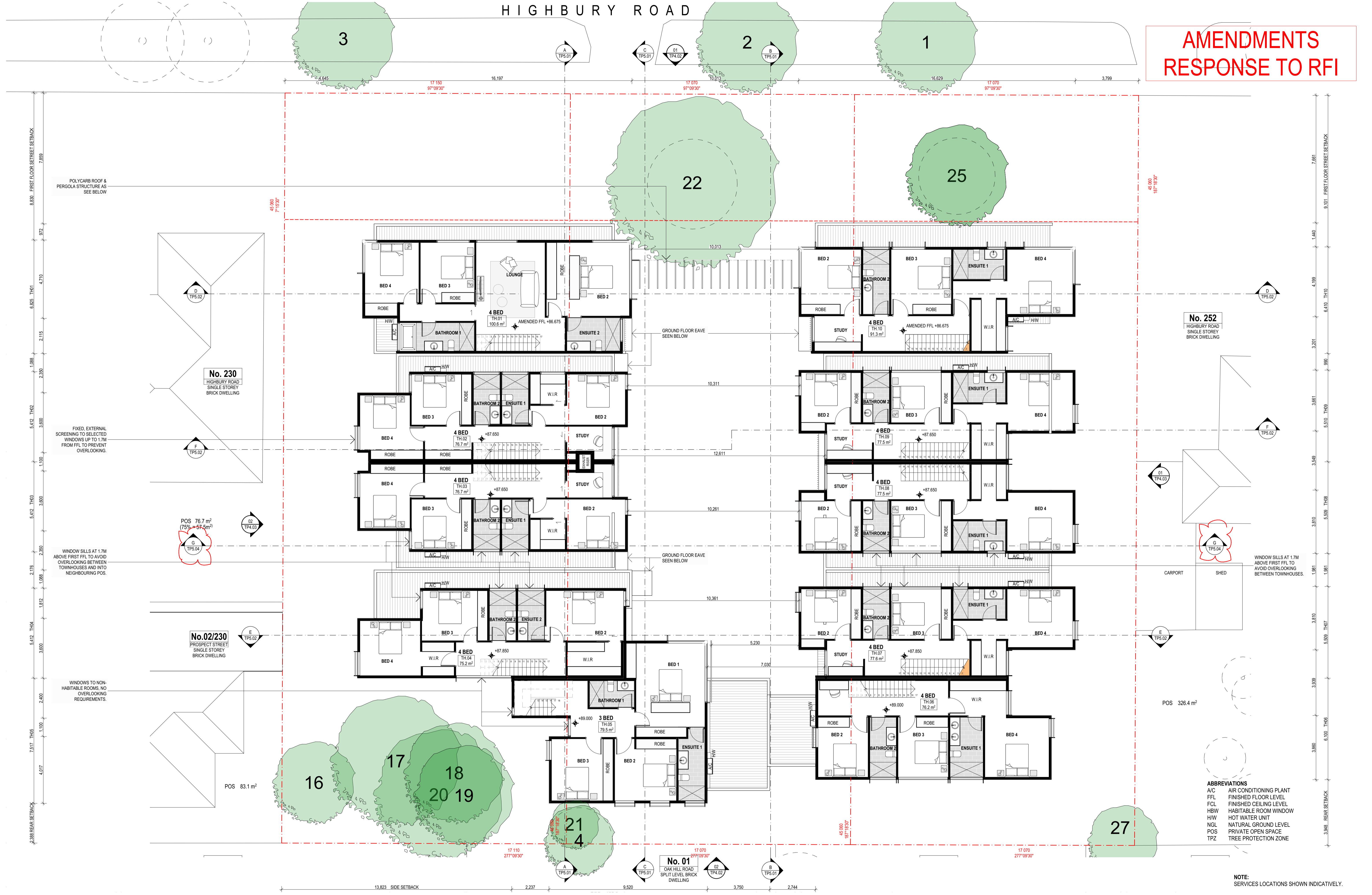


ABBREVIATIONS

- A/C AIR CONDITIONING PLANT
- FFL FINISHED FLOOR LEVEL
- FCL FINISHED CEILING LEVEL
- HBW HABITABLE ROOM WINDOW
- HW HOT WATER UNIT
- NGL NATURAL GROUND LEVEL
- POS PRIVATE OPEN SPACE
- TPZ TREE PROTECTION ZONE

NOTE:
REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DETAILS.
SERVICES LOCATIONS SHOWN INDICATIVELY.

**AMENDMENTS
RESPONSE TO RFI**



8.830 FIRST FLOOR SETBACK
7.659
4.710
2.115
1.088
2.350
3.600
5.412 TH02
1.100
3.600
5.412 TH03
2.350
2.176
1.088
5.412 TH04
3.600
2.450
7.517 TH05
4.017
2.388 REAR SETBACK

7.661
1.440
4.199
6.610 TH10
3.201
1.990
3.861
5.510 TH09
3.548
3.810
5.509 TH08
1.981
3.810
5.509 TH07
3.939
6.100 TH06
3.890
3.348 REAR SETBACK

REV.	DESCRIPTION	DATE
B	RESPONSE TO RFI	02.11.2018
A	AMENDMENTS FOR TOWN PLANNING	24.10.2018
	ISSUED FOR TOWN PLANNING	15.06.2018

Name & Tel	Name & Tel	Name & Tel
Author Name & Tel	Client Name & Tel	Project Name
Designer Name & Tel	Contractor Name & Tel	Address Name & Tel
Checker Name & Tel	Architect Name & Tel	Site Name & Tel
Approver Name & Tel	Structural Name & Tel	Other Name & Tel

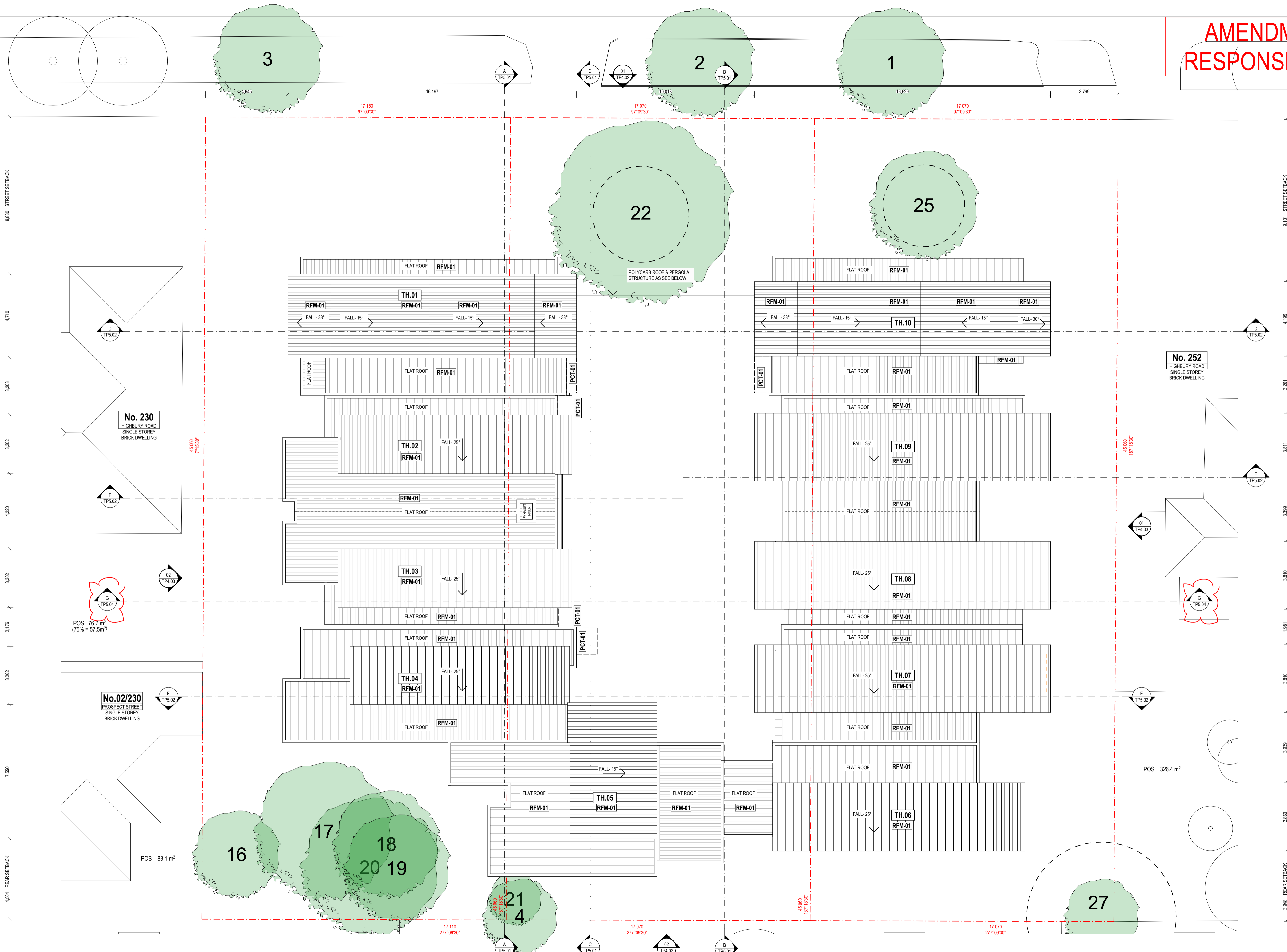
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 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

CLIENT: **Pentagon Group**
 PROJECT NO: **18005**
 PROJECT: **Highbury Road**
 246-250 Highbury Road, Mount Waverley

DRAWING TITLE: **Proposed First Plan**
 DRAWING NUMBER: **TP3.03**
 STATUS: **TOWN PLANNING**

NOTE: SERVICES LOCATIONS SHOWN INDICATIVELY.

AMENDMENTS RESPONSE TO RFI



ABBREVIATIONS

A/C	AIR CONDITIONING PLANT
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
HRW	HABITABLE ROOM LEVEL
HWU	HOT WATER UNIT
NGL	NATURAL GROUND LEVEL
POS	PRIVATE OPEN SPACE
TPZ	TREE PROTECTION ZONE

REV. DETAILS	RESPONSE TO RFI
A	AMENDMENTS FOR TOWN PLANNING
B	ISSUED FOR TOWN PLANNING

BY	DATE
EP	02.11.2018
EP	24.10.2018
EP	15.06.2018

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	Name & Tel	Name & Tel	Name & Tel	Name & Tel
	Name & Tel	Name & Tel	Name & Tel	Name & Tel
	Name & Tel	Name & Tel	Name & Tel	Name & Tel

CHAMBERLAIN ARCHITECTS

1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group

PROJECT NO.
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley

DRAWING TITLE
Proposed Roof Plan

DRAWN
SCALE
@ A1

CHECKED

DRAWING NUMBER
TP3.04

REVISION
B

STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

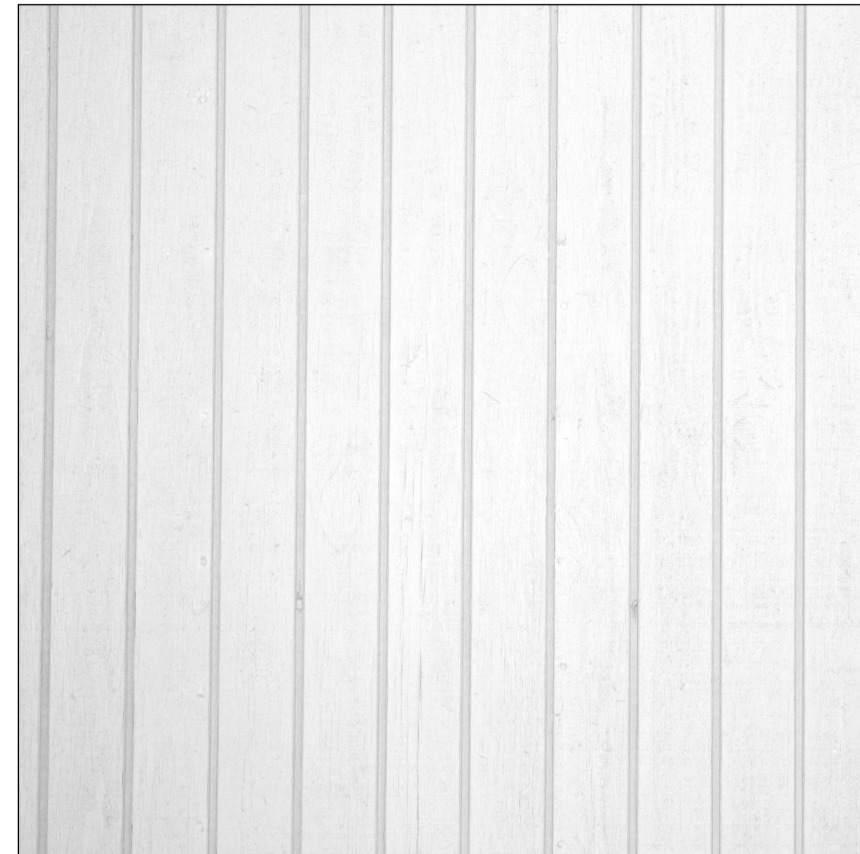
CLADDING



MAS-01
BRICK CLADDING



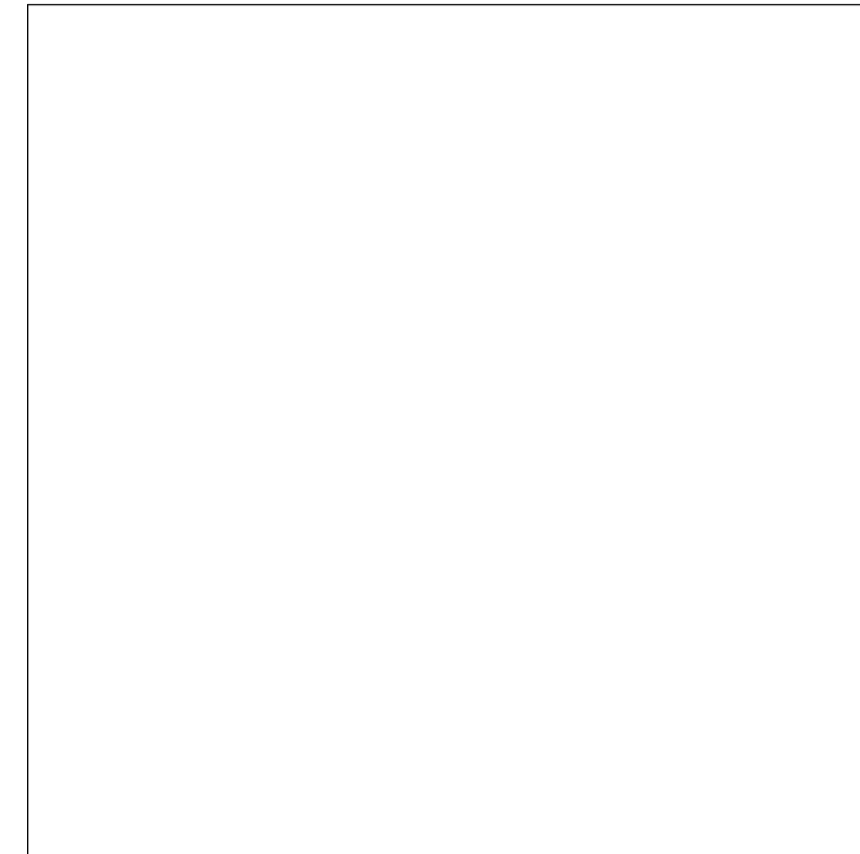
CLD-01
VERTICAL CLADDING - DARK



CLD-02
VERTICAL CLADDING - LIGHT

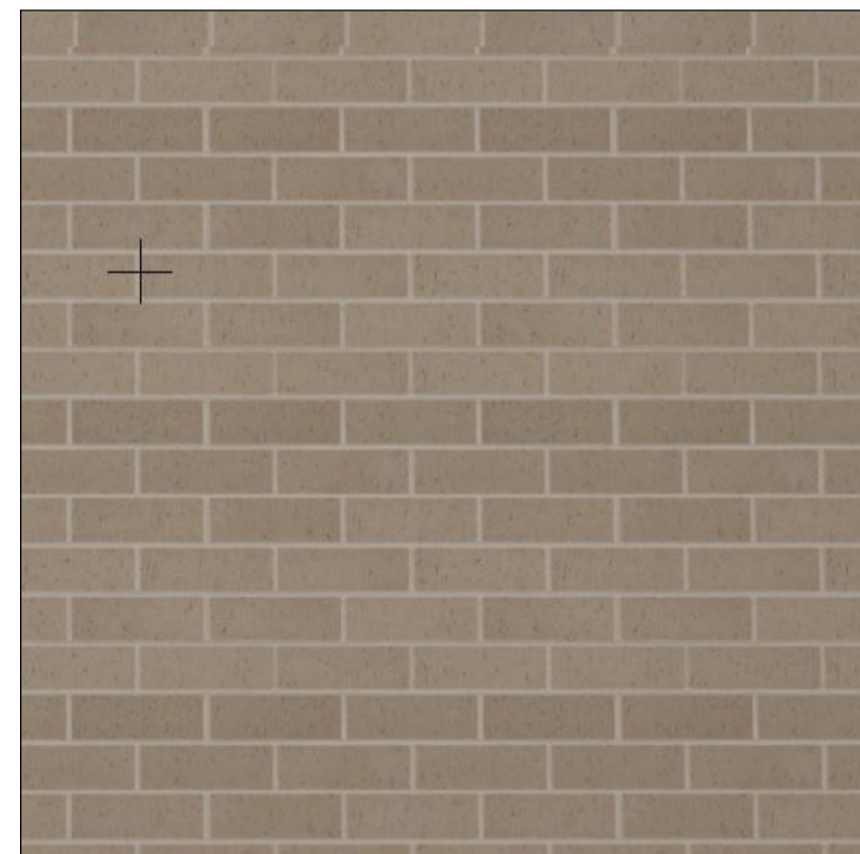


PCT-01
POWDERCOAT DARK - TO MATCH CLD-01
(BALUSTRADES, WINDOW SHROUDS,
PRIVACY SCREENS)



PCT-02
POWDERCOAT LIGHT - TO MATCH CLD-02
(WINDOW SHROUDS, PRIVACY SCREENS)

GROUND TREATMENT

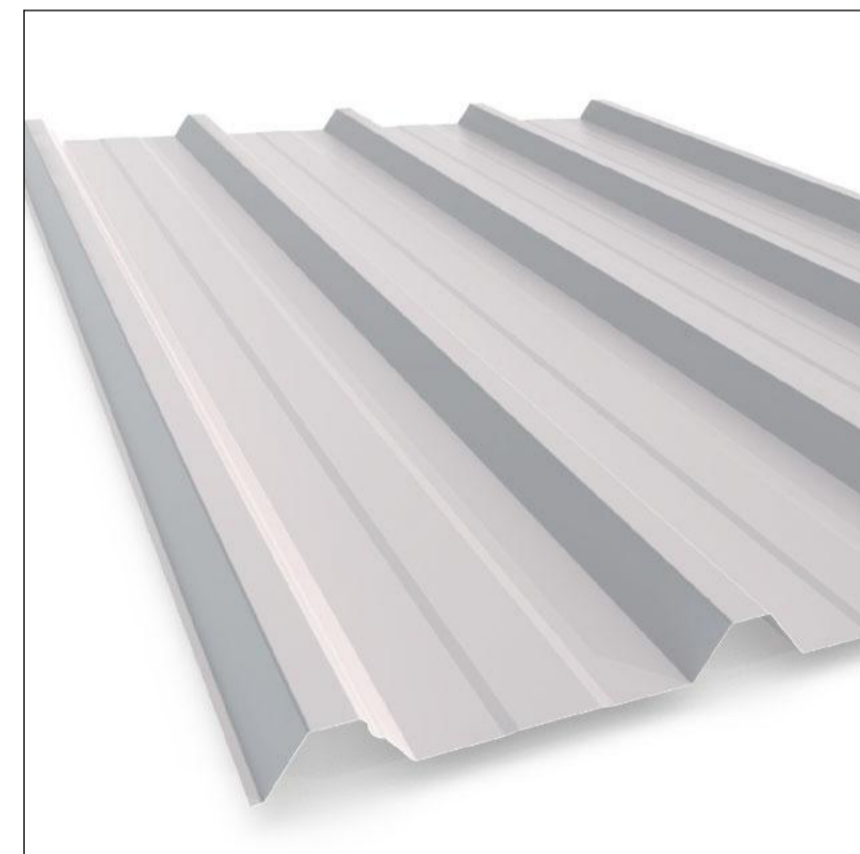


MAS-02
BRICK GROUND SURFACE
(TO MATCH MAS-01)



TBD-01
TIMBER DECKING

ROOFING

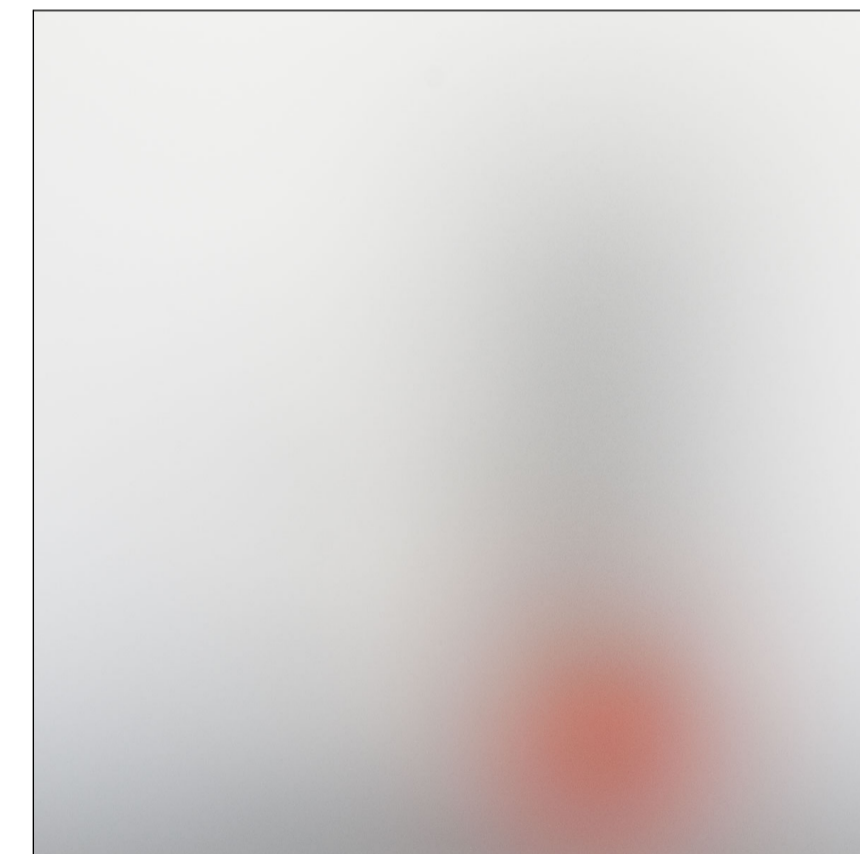


RFM-01
METAL ROOF SHEETING & FLASHING
(TO MATCH CLD-01)

GLAZING



GS
GLASS - CLEAR (WINDOWS)



GS-01
GLASS - OBSCURE GLAZING (NOT FILM)

REV.	DETAILS
EP	02.11.2018
EP	24.10.2018
EP	15.06.2018
BY	DATE

All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Author Name & Tel	Author Name & Tel	Author Name & Tel
Team Name & Tel	Team Name & Tel	Team Name & Tel
Author Name & Tel	Author Name & Tel	Author Name & Tel

CHAMBERLAIN ARCHITECTS

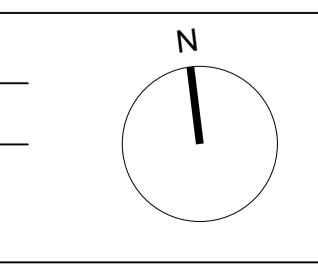
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1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group

PROJECT NO.
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



DRAWING TITLE
External Materials & Finishes

DRAWING NUMBER
TP4.01

REVISION

DRAWN
CHECKED

SCALE
@ A1

FILE:RFB.PBR

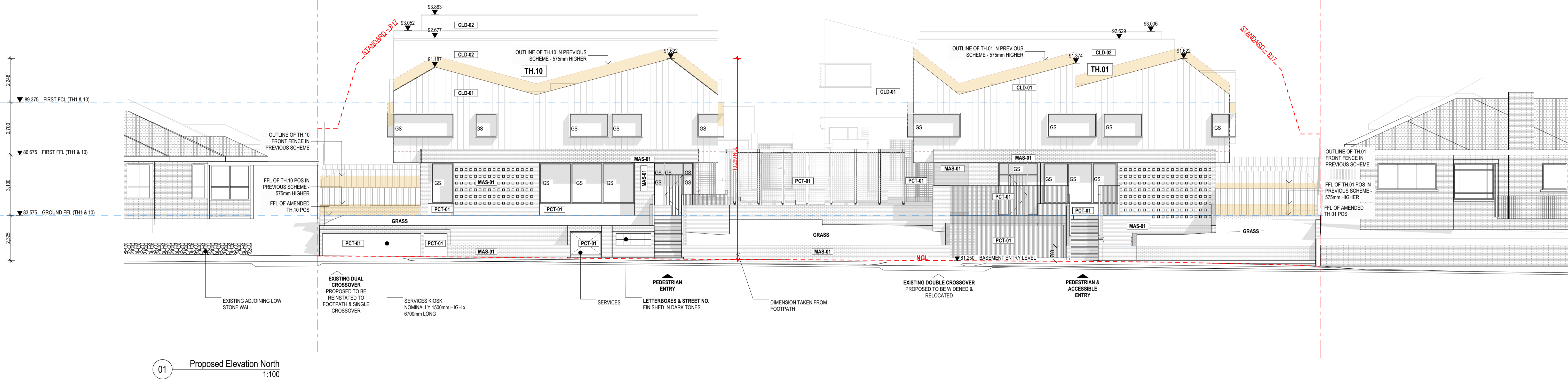
STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

No. 252
HIGHBURY ROAD

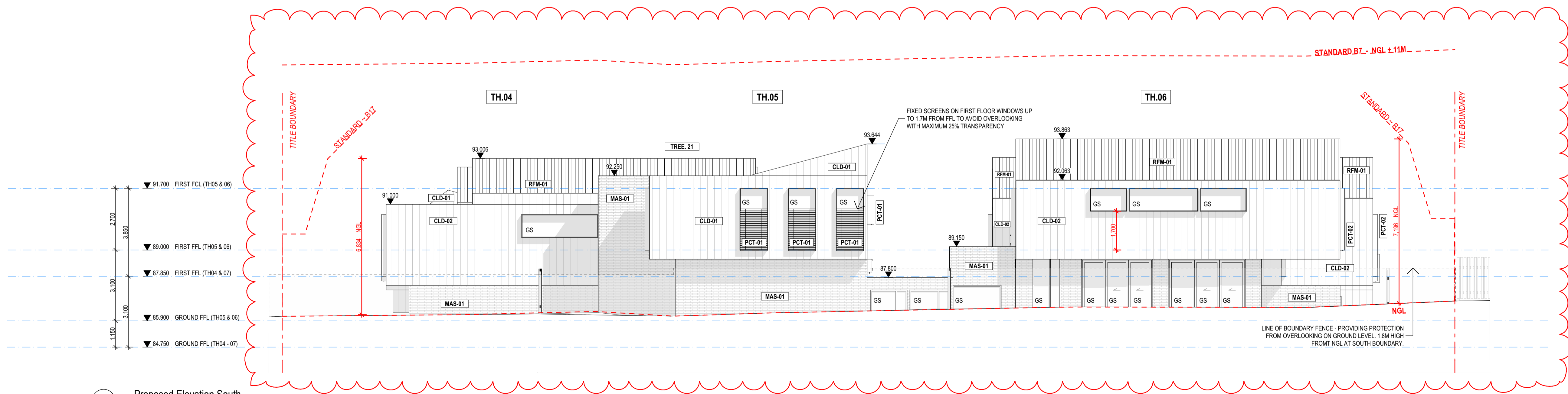
No. 246-250
HIGHBURY ROAD
SUBJECT SITE

No. 230
HIGHBURY ROAD



01 Proposed Elevation North
1:100

KEY
OUTLINE OF BUILDING IN PREVIOUS SCHEME.



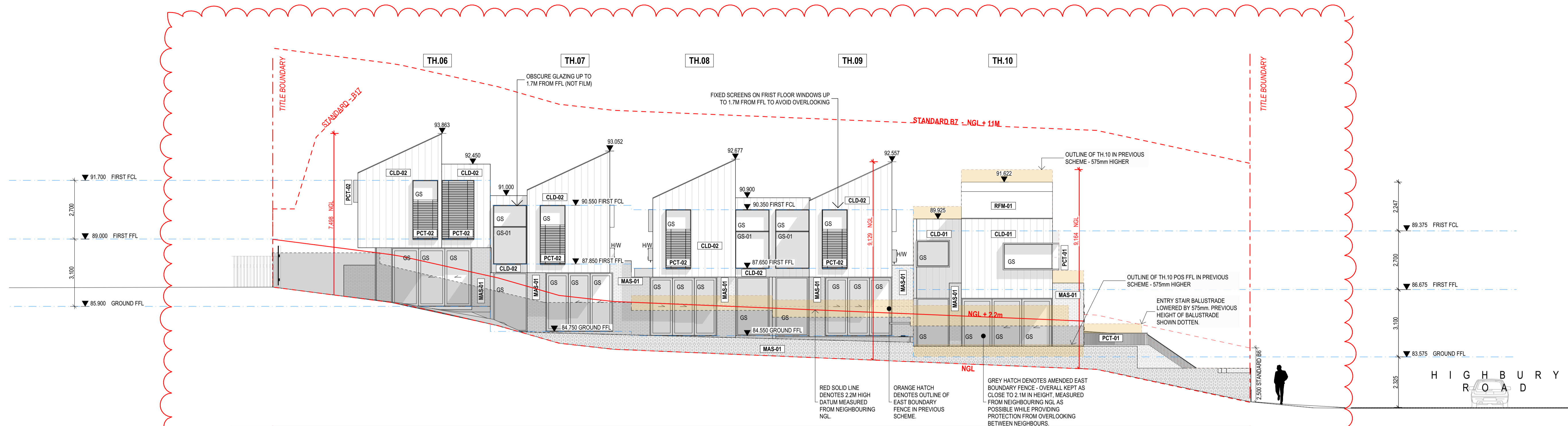
02 Proposed Elevation South
1:100

GENERAL NOTE
VEGETATION NOT SHOWN ON ELEVATIONS OR SECTIONS. REFER TO LANDSCAPE PLANS AND RENDERS FOR DETAILS.

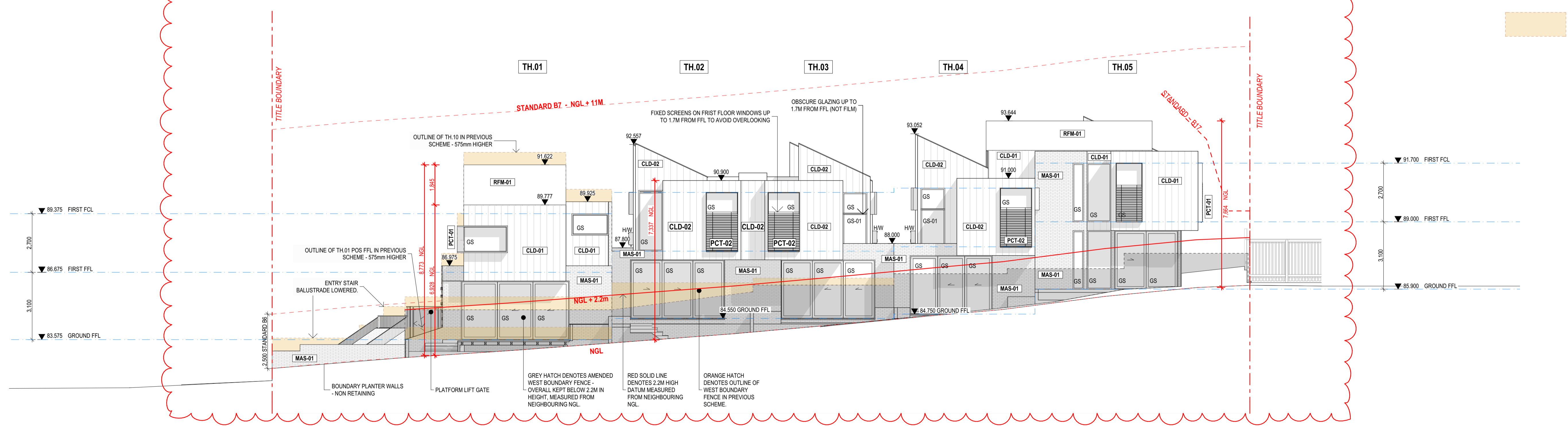
EXTERNAL FINISHES LEGEND
CLD-01 Vertical Cladding - Dark
CLD-02 Vertical Cladding - Light
GS Glass - Clear
GS-01 Glass - Obscure Glazing
MAS-01 Brick Cladding
MAS-02 Brick Ground Surface
PCT-01 Powdercoat - Dark
PCT-02 Powdercoat - Light
RFM-01 Metal Roof Sheet & Flashing
TBD-01 Timber Decking

ABBREVIATIONS
A/C AIR CONDITIONING PLANT
FFL FINISHED FLOOR LEVEL
FCL FINISHED CEILING LEVEL
HW HABITABLE ROOM WINDOW
HW HOT WATER UNIT
NGL NATURAL GROUND LEVEL
POS PRIVATE OPEN SPACE
TPZ TREE PROTECTION ZONE

AMENDMENTS RESPONSE TO RFI



01 Proposed Elevation East
1:100



02 Proposed Elevation West
1:100

KEY
 OUTLINE OF BUILDING IN ORIGINAL SCHEME.

GENERAL NOTE
 VEGETATION NOT SHOWN ON ELEVATIONS OR SECTIONS. REFER TO LANDSCAPE PLANS AND RENDERS FOR DETAILS.

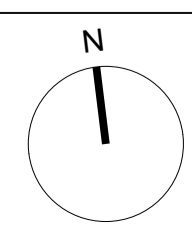
EXTERNAL FINISHES LEGEND
 CLD-01 Vertical Cladding - Dark
 CLD-02 Vertical Cladding - Light
 GS Glass - Clear
 GS-01 Glass - Obscure Glazing
 MAS-01 Brick Cladding
 MAS-02 Brick Ground Surface
 PCT-01 Powdercoat - Dark
 PCT-02 Powdercoat - Light
 RFM-01 Metal Roof Sheet & Flashing
 TBD-01 Timber Decking

ABBREVIATIONS
 A/C AIR CONDITIONING PLANT
 FFL FINISHED FLOOR LEVEL
 FCL FINISHED CEILING LEVEL
 HBW HABITABLE ROOM WINDOW
 H/W HOT WATER UNIT
 NGL NATURAL GROUND LEVEL
 POS PRIVATE OPEN SPACE
 TPZ TREE PROTECTION ZONE

<p>8 RESPONSE TO RFI AMENDMENTS FOR TOWN PLANNING ISSUED FOR TOWN PLANNING REV. DETAILS</p>	<p>EP 02.11.2018 EP 24.10.2018 EP 15.06.2018 BY DATE</p>	<p>All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.</p>	<p>Author Name & Tel Name & Tel Name & Tel Name & Tel</p>	<p>Author Name & Tel Name & Tel Name & Tel Name & Tel</p>	<p>Author Name & Tel Name & Tel Name & Tel Name & Tel</p>
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CHAMBERLAIN ARCHITECTS
 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

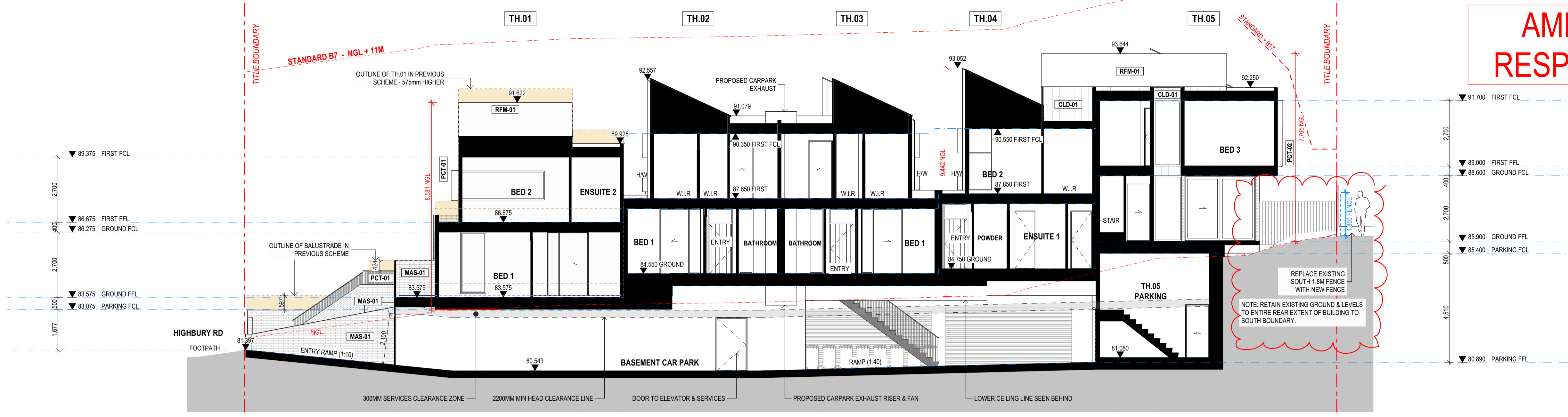
CLIENT **Pentagon Group**
 PROJECT NO. **18005**
 PROJECT **Highbury Road**
 246-250 Highbury Road, Mount Waverley



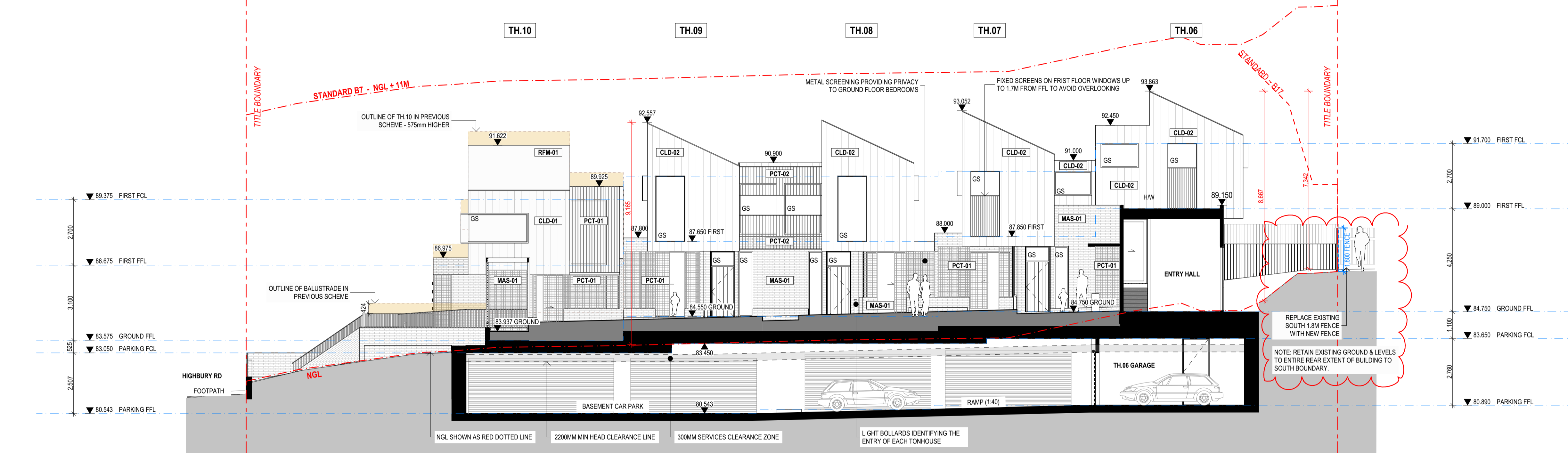
DRAWING TITLE **Proposed Elevations**
 DRAWING NUMBER **TP4.03**
 REVISION **B**
 DRAWN _____ CHECKED _____
 SCALE @ A1
 FILE: RFI.PAR
 STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

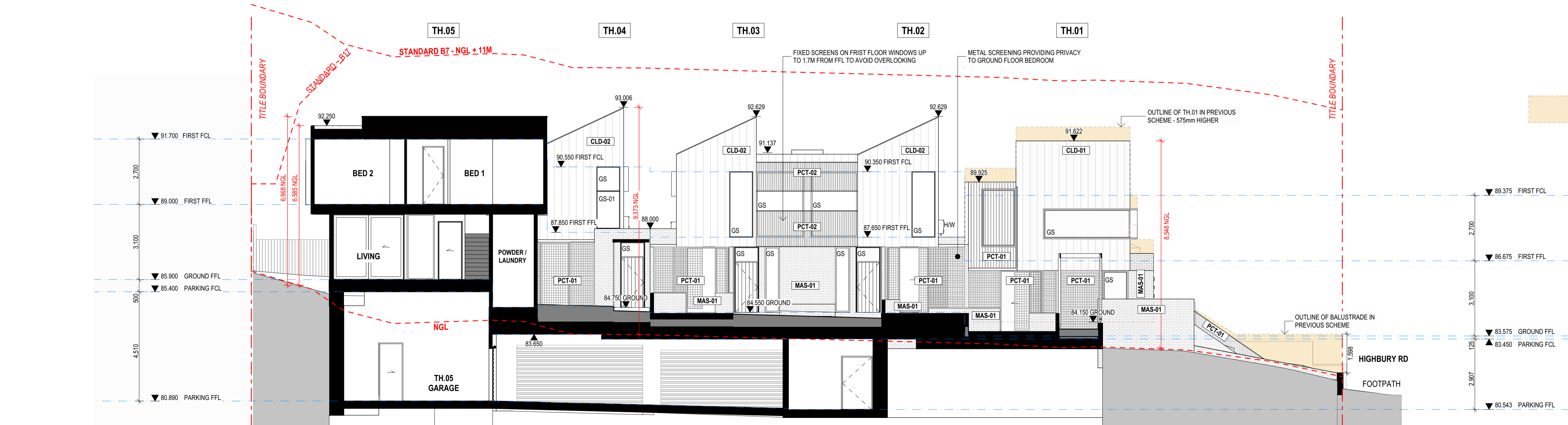
A Section AA
1:100



B Section BB
1:100



C Section CC
1:100



KEY
OUTLINE OF BUILDING IN PREVIOUS SCHEME.

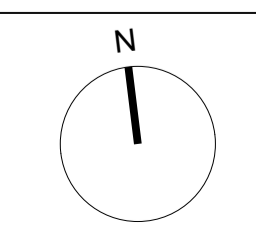
- EXTERNAL FINISHES LEGEND**
- CLD-01 Vertical Cladding - Dark
 - CLD-02 Vertical Cladding - Light
 - GS Glass - Clear
 - GS-01 Glass - Obscure Glazing
 - MAS-01 Brick Cladding
 - MAS-02 Brick Ground Surface
 - PCT-01 Powdercoat - Dark
 - PCT-02 Powdercoat - Light
 - RFM-01 Metal Roof Sheet & Flashing
 - TBD-01 Timber Decking

- ABBREVIATIONS**
- A/C AIR CONDITIONING PLANT
 - FFL FINISHED FLOOR LEVEL
 - FCL FINISHED CEILING LEVEL
 - HRW HABITABLE ROOM WINDOW
 - HW HOT WATER UNIT
 - NGL NATURAL GROUND LEVEL
 - POS PRIVATE OPEN SPACE
 - TPZ TREE PROTECTION ZONE

All work shall conform to the specifications and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

CHAMBERLAIN ARCHITECTS
 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 9414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

CLIENT **Pentagon Group**
 PROJECT NO. **18005**
 PROJECT **Highbury Road**
 246-250 Highbury Road, Mount Waverley



DRAWING TITLE **Proposed Sections**
 DRAWING NUMBER **TP5.01**
 DRAWN [] CHECKED []
 SCALE @ A1
 FILE: #P# PAR
 STATUS: TOWN PLANNING

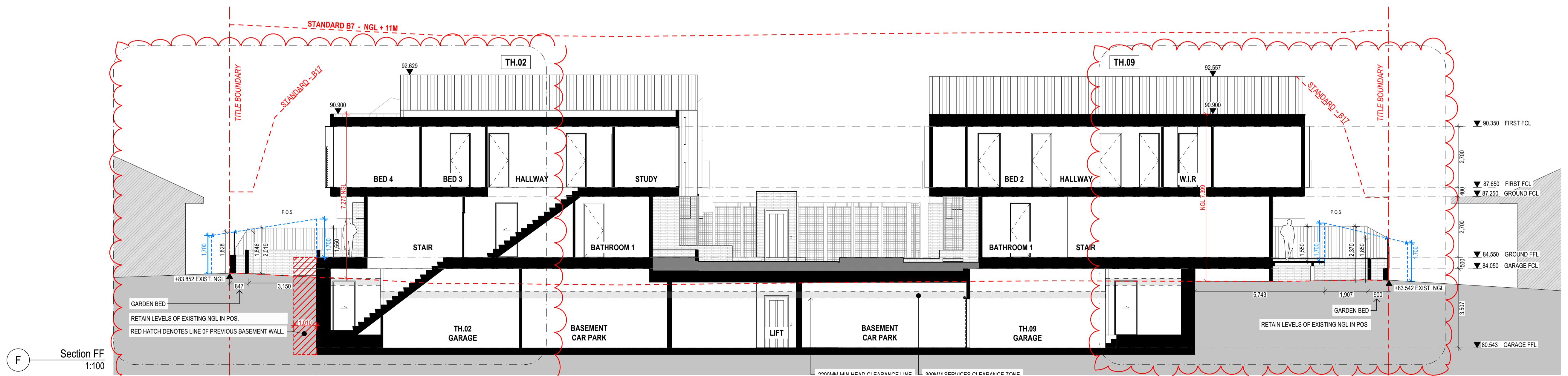
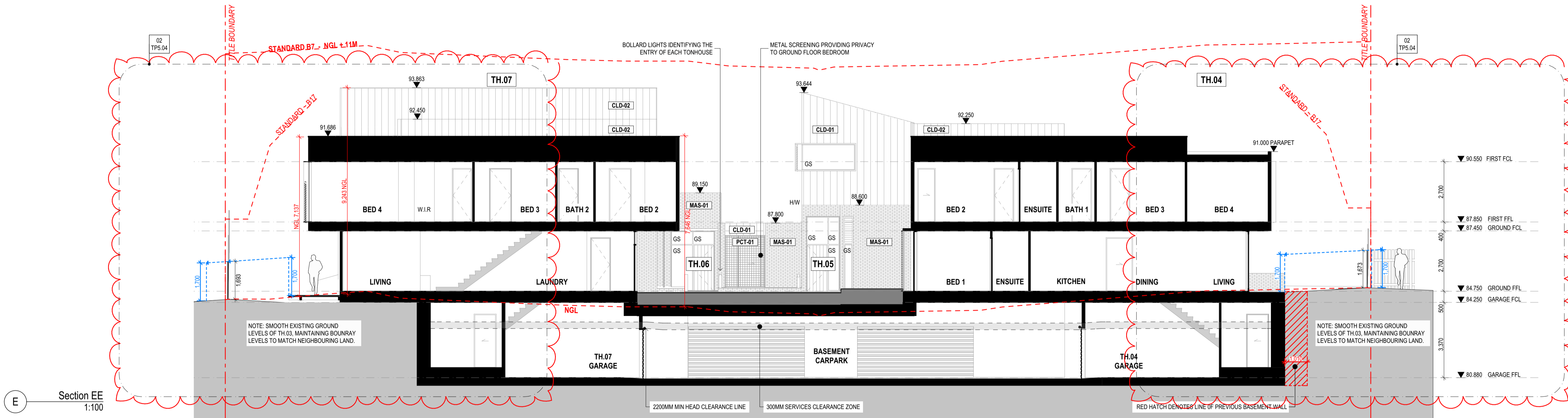
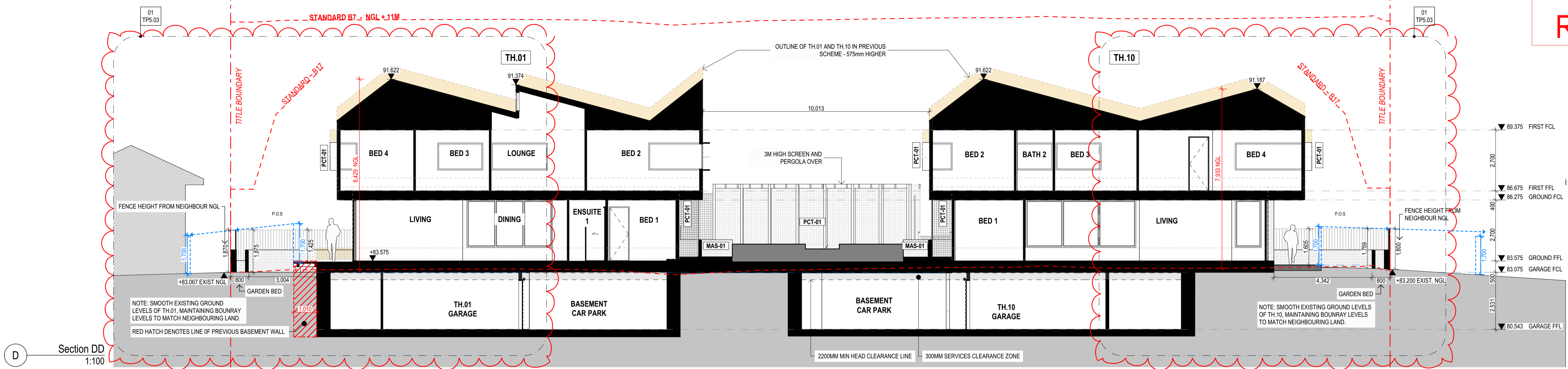
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B RESPONSE TO RFI
A AMENDMENTS FOR TOWN PLANNING
REV. DETAILS

EP 02.11.2018
 EP 24.10.2018
 EP 15.06.2018
 BY DATE

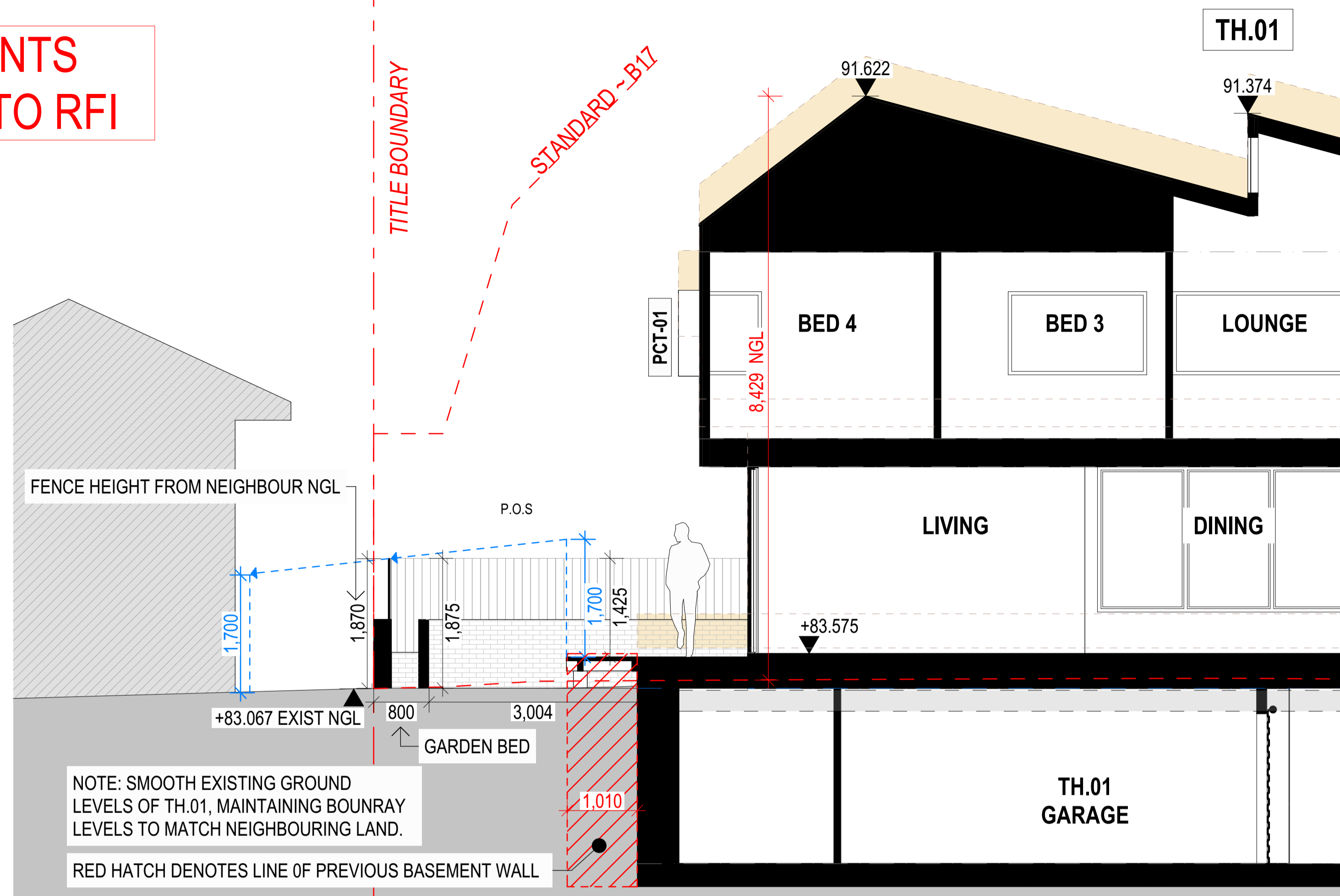
REVISION **B**

AMENDMENTS RESPONSE TO RFI

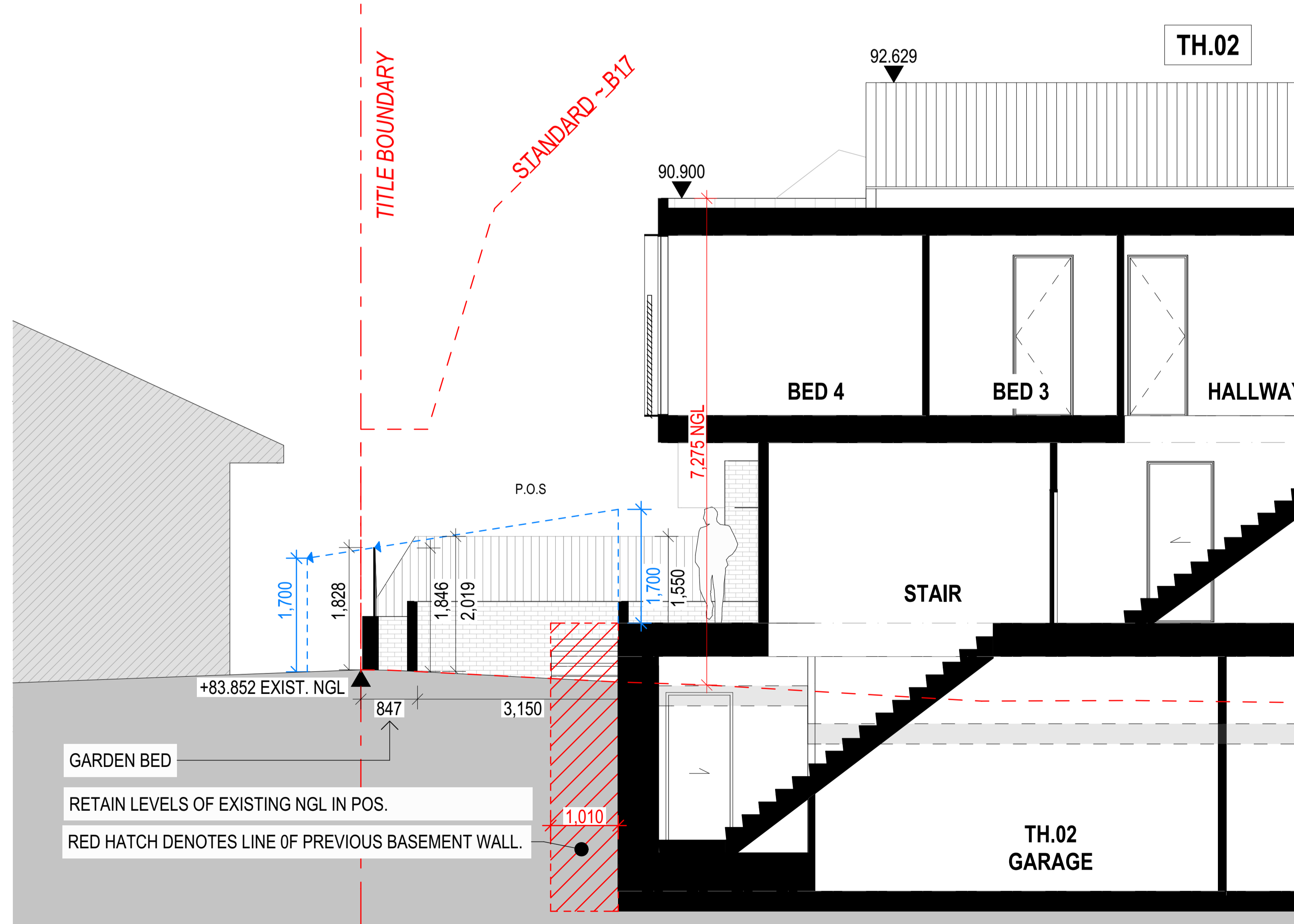
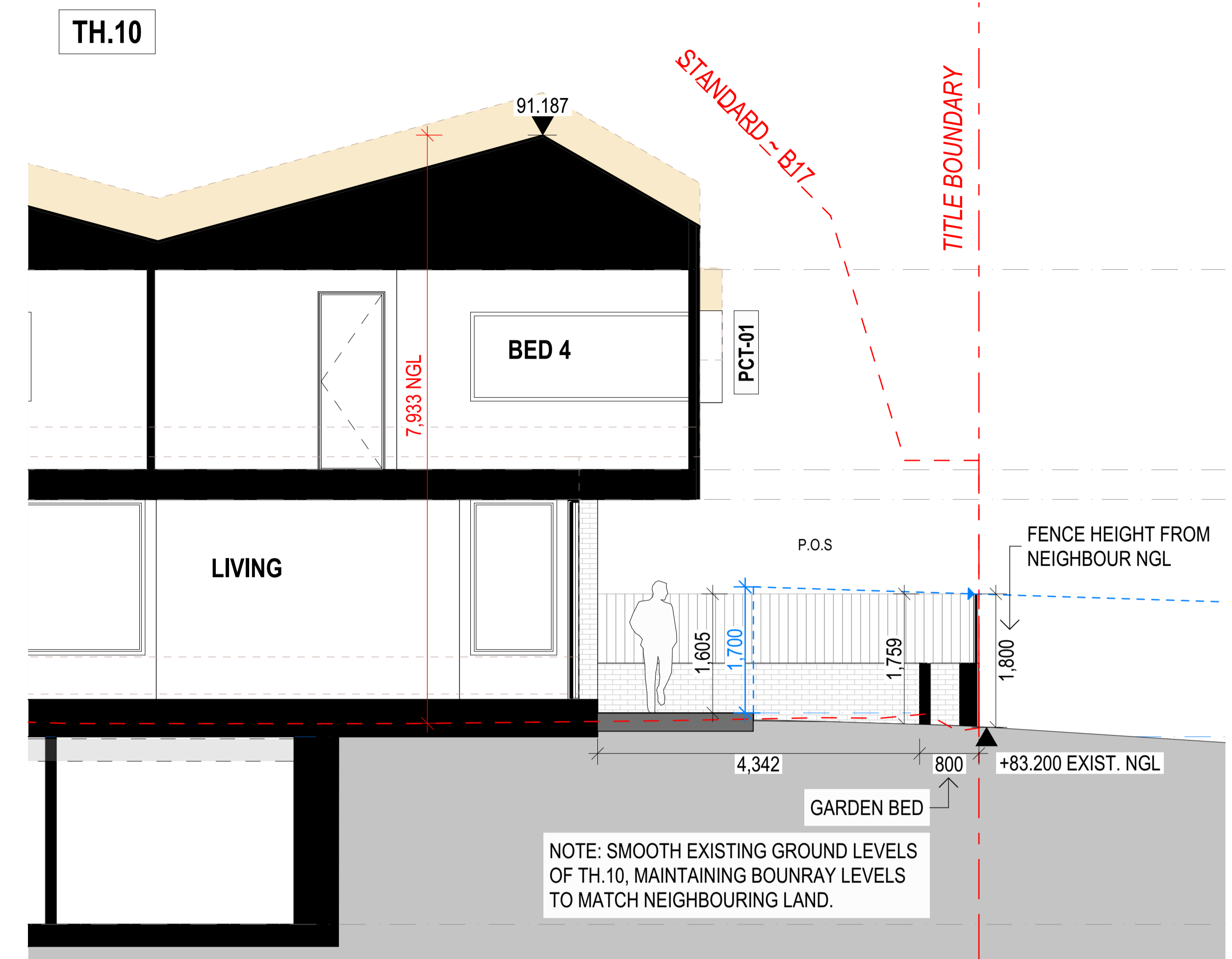


- KEY**
- OUTLINE OF BUILDING IN PREVIOUS SCHEME.
- EXTERNAL FINISHES LEGEND**
- CLD-01 Vertical Cladding - Dark
 - CLD-02 Vertical Cladding - Light
 - GS Glass - Clear
 - GS-01 Glass - Obscure Glazing
 - MAS-01 Brick Cladding
 - MAS-02 Brick Ground Surface
 - PCT-01 Powdercoat - Dark
 - PCT-02 Powdercoat - Light
 - RFM-01 Metal Roof Sheet & Flashing
 - TBD-01 Timber Decking
- ABBREVIATIONS**
- A/C AIR CONDITIONING PLANT
 - FFL FINISHED FLOOR LEVEL
 - FCL FINISHED CEILING LEVEL
 - HR HABITABLE ROOM WINDOW
 - HW HOT WATER UNIT
 - NGL NATURAL GROUND LEVEL
 - POS PRIVATE OPEN SPACE
 - TPZ TREE PROTECTION ZONE

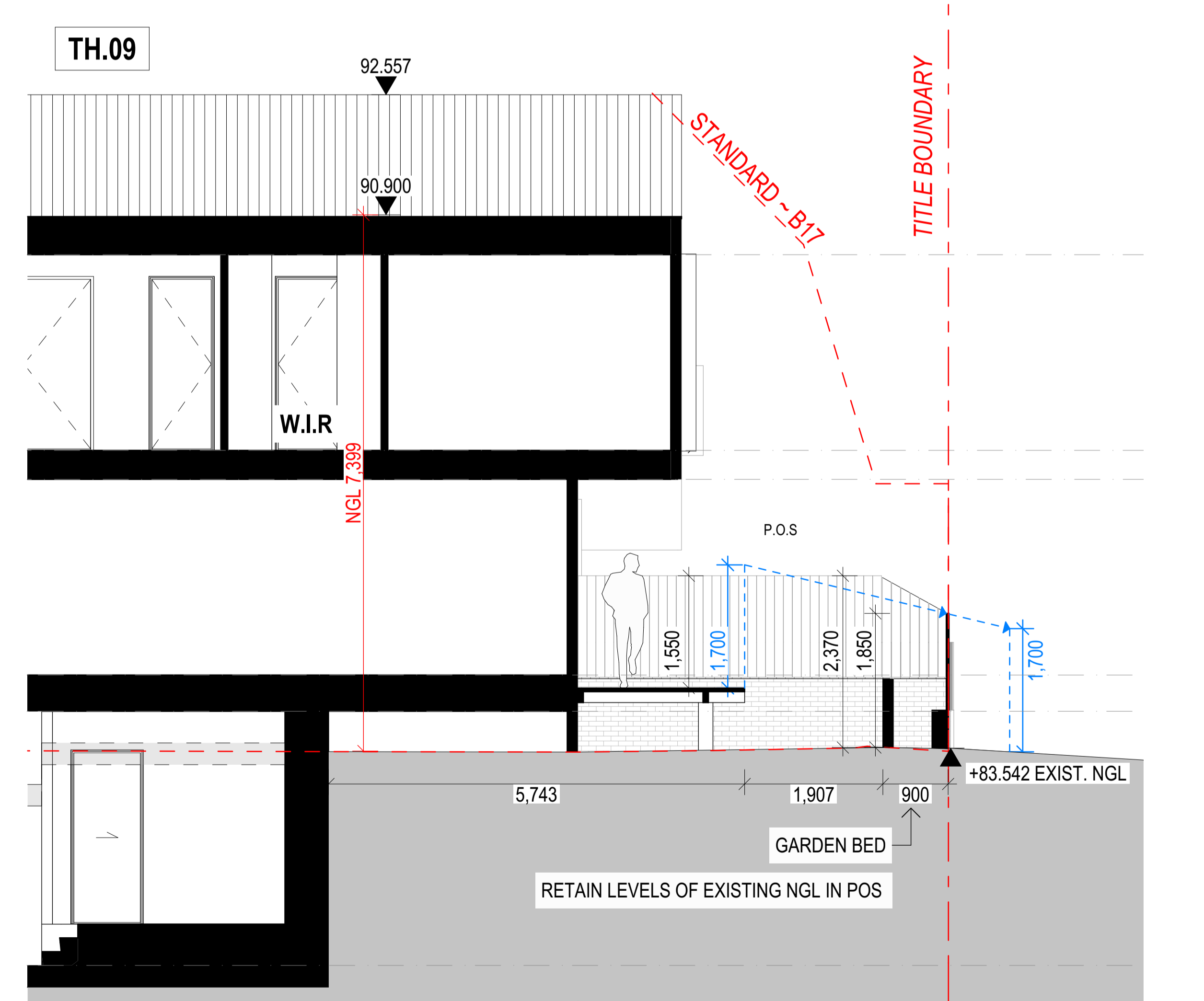
AMENDMENTS RESPONSE TO RFI



01 Section DD POS Detail
1:50



02 Section FF POS Detail
1:50



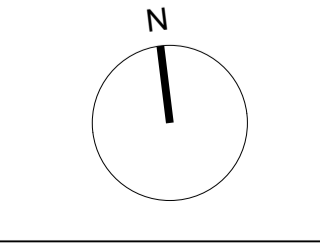
REV.	DETAILS	DATE	BY
B	RESPONSE TO RFI	02.11.2018	EP
A	AMENDMENTS FOR TOWN PLANNING	19.10.2018	EP
-	ISSUED FOR TOWN PLANNING	15.08.2018	EP

All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Author Name & Tel	Client Name & Tel	Project Name
Designer Name & Tel	Architect Name & Tel	Drawn By Name & Tel
Checker Name & Tel	Approved Name & Tel	Scale
Project Manager Name & Tel	Project Name	Project No.

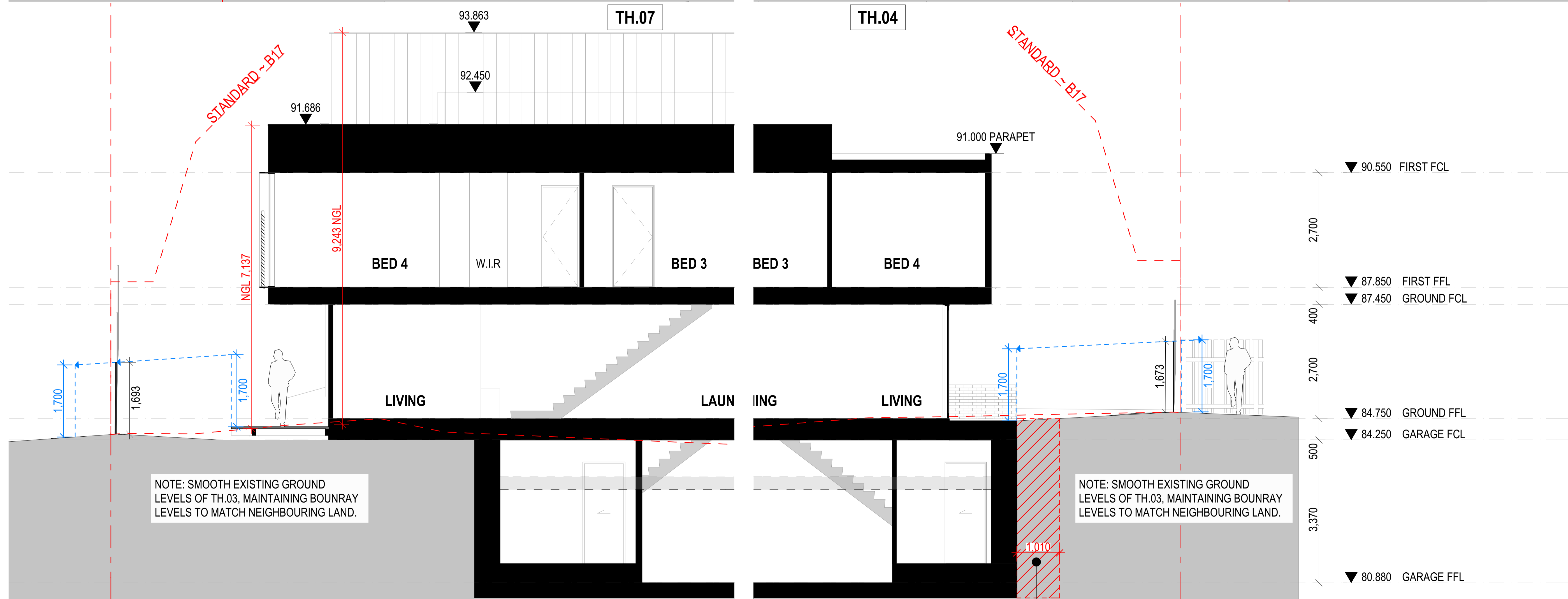
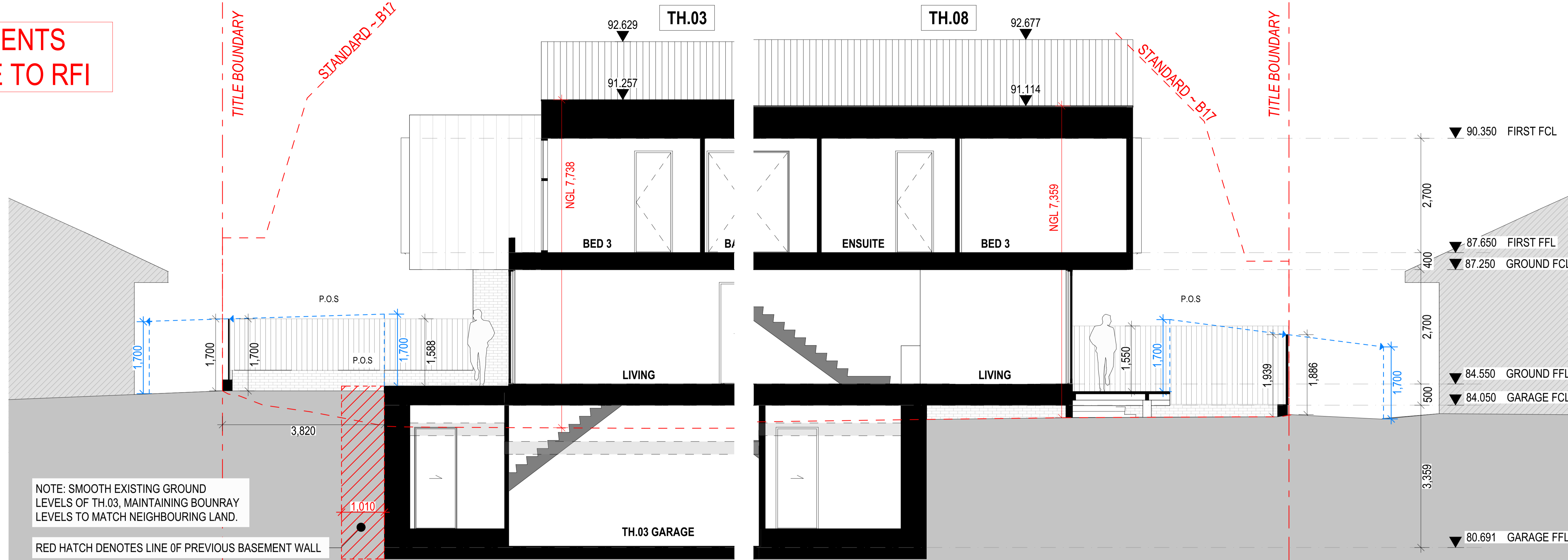
CHAMBERLAIN ARCHITECTS
 1B STANLEY STREET
 COLLINGWOOD VIC 3066 AUSTRALIA
 PHONE +613 8414 4300
 CHAMBERLAINARCHITECTS.COM.AU
 ABN:26 149 858 079

CLIENT **Pentagon Group**
 PROJECT NO. **18005**
 PROJECT **Highbury Road**
 246-250 Highbury Road, Mount Waverley



DRAWING TITLE **Proposed Sections**
 DRAWING NUMBER **TP5.03**
 SCALE **@ A1**
 STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI



AMENDMENTS RESPONSE TO RFI

SHADOW DIAGRAM KEY

- SHADOWS CAST BY EXISTING ELEMENTS
- OVER-LAP OF EXISTING SHADOWS WITH SHADOWS CAST BY PROPOSED ELEMENTS
- ADDITIONAL OVERSHADOWING BY PROPOSED ELEMENTS

SECLUDED PRIVATE OPEN SPACE (POS) ANALYSIS

No.230 HIGHBURY ROAD
SINGLE STOREY BRICK DWELLING
TOTAL POS = 76.7m²
EXISTING SHADOW = 36.4m²
NEW SHADOW = 12.7m²
AREA NOT IN SHADOW = 27.6m² **LESS THAN 40M²**

No.02/230 PROSPECT STREET
SINGLE STOREY BRICK DWELLING
NO ADDITIONAL SHADOW TO POS

No.02 PROSPECT STREET
SINGLE STOREY BRICK DWELLING
NO ADDITIONAL SHADOW TO POS

No.01 OAK HILL ROAD
SPLIT LEVEL BRICK DWELLING
TOTAL POS = 185m²
EXISTING SHADOW = 62.8m²
NEW SHADOW = 2.42m²
AREA NOT IN SHADOW = 119.7m² **GREATER THAN 40M²**

No. 252
HIGHBURY ROAD
SINGLE STOREY
BRICK DWELLING

No. 230
HIGHBURY ROAD
SINGLE STOREY
BRICK DWELLING

POS 76.7 m²

12.77 m²

No.02/230
PROSPECT STREET
SINGLE STOREY
BRICK DWELLING

POS 71.8 m²

No. 02
PROSPECT STREET
DOUBLE STOREY
BRICK DWELLING

POS 206.5 m²

0.99 m²

2.42 m²

POS 185.6 m²

No. 01
OAK HILL ROAD
SPLIT LEVEL BRICK
DWELLING

No. 03
OAK HILL ROAD
DOUBLE STOREY
RENDERED BRICK
DWELLINGS

POS 217.2 m²

No. 05
OAK HILL ROAD
SINGLE STOREY
BRICK DWELLING

POS 315.3 m²

22

25

16

17

18

20

19

21

4

27

POS 294.3 m²

CHAMBERLAIN ARCHITECTS

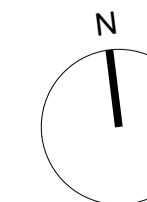
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1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group

PROJECT NO.
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



DRAWING TITLE
Shadow Diagrams - 09AM Sept. 22nd

CHECKED

SCALE 1:100
@ A1
FILE: #P6.PDF

DRAWING NUMBER
TP6.01

REVISION

STATUS: TOWN PLANNING

All work shall conform to the specifications for town planning drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Author Name & Tel
User Name & Tel
Reviewer Name & Tel

Author Name & Tel
User Name & Tel
Reviewer Name & Tel

Author Name & Tel
User Name & Tel
Reviewer Name & Tel

PRINTED: 20/09/2018 11:58 AM

RESPONSE TO RFI
AMENDMENTS FOR TOWN PLANNING
ISSUED FOR TOWN PLANNING
REV: DETAILS

EP 02.11.2018
EP 19.10.2018
EP 15.08.2018
BY DATE

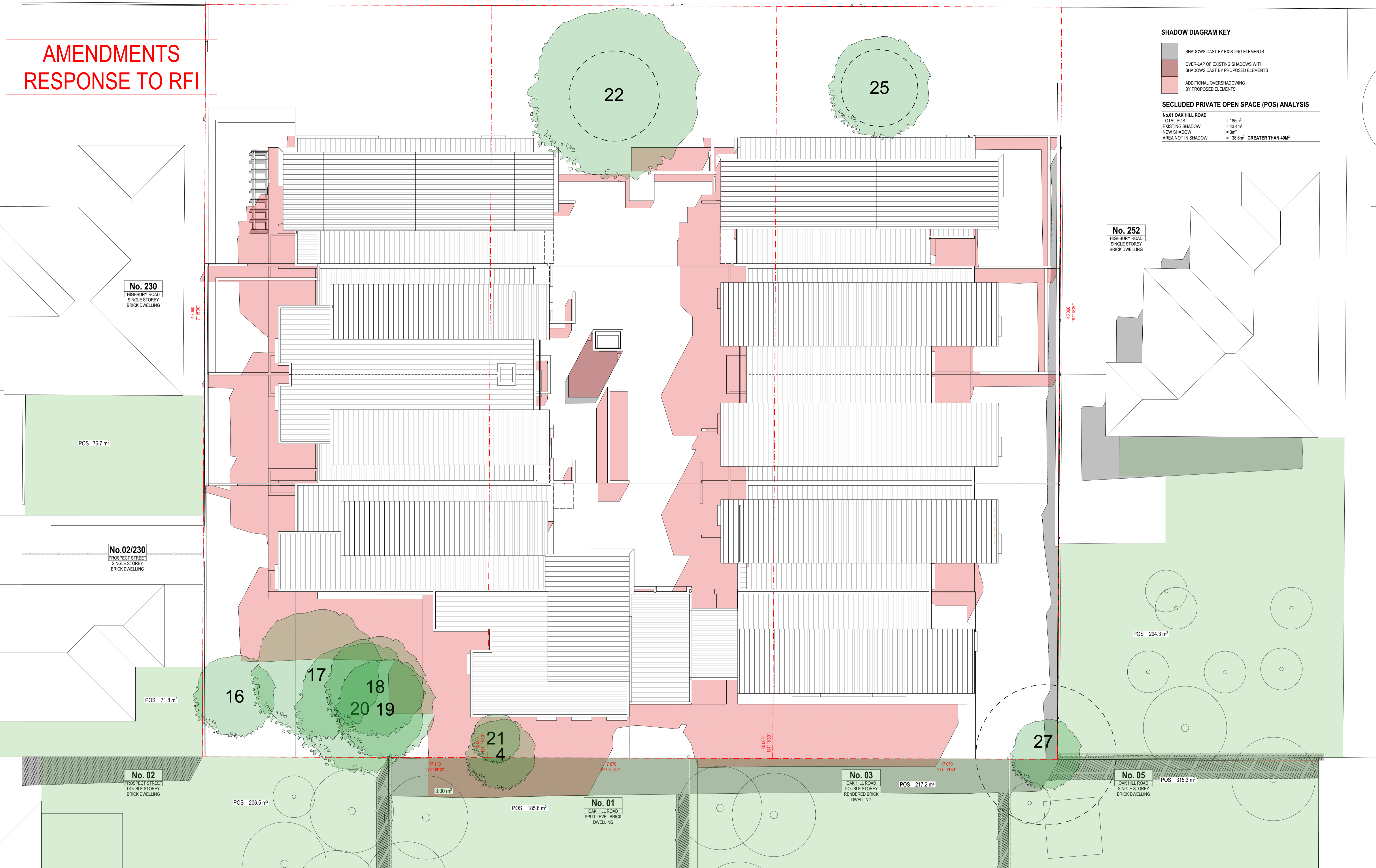
AMENDMENTS RESPONSE TO RFI

SHADOW DIAGRAM KEY

- SHADOWS CAST BY EXISTING ELEMENTS
- OVER-LAP OF EXISTING SHADOWS WITH SHADOWS CAST BY PROPOSED ELEMENTS
- ADDITIONAL OVERSHADOWING BY PROPOSED ELEMENTS

SECLUDED PRIVATE OPEN SPACE (POS) ANALYSIS

No.01 OAK HILL ROAD	
TOTAL POS	= 185m ²
EXISTING SHADOW	= 43.4m ²
NEW SHADOW	= 3m ²
AREA NOT IN SHADOW	= 138.6m ² GREATER THAN 40M²



PRINTED: 20/10/2018 11:58 AM
RESPONSE TO RFI
AMENDMENTS FOR TOWN PLANNING
ISSUED FOR TOWN PLANNING
REV: DETAILS

EP	02.11.2018
EP	19.10.2018
EP	15.08.2018
BY	DATE

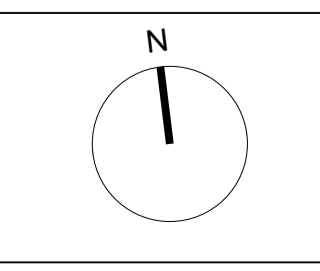
All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.	
Author Name & Tel	Author Name & Tel
Client Name & Tel	Client Name & Tel
Project Name & Tel	Project Name & Tel
Site Name & Tel	Site Name & Tel

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1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT	Pentagon Group
PROJECT NO.	18005
PROJECT	Highbury Road
ADDRESS	246-250 Highbury Road, Mount Waverley



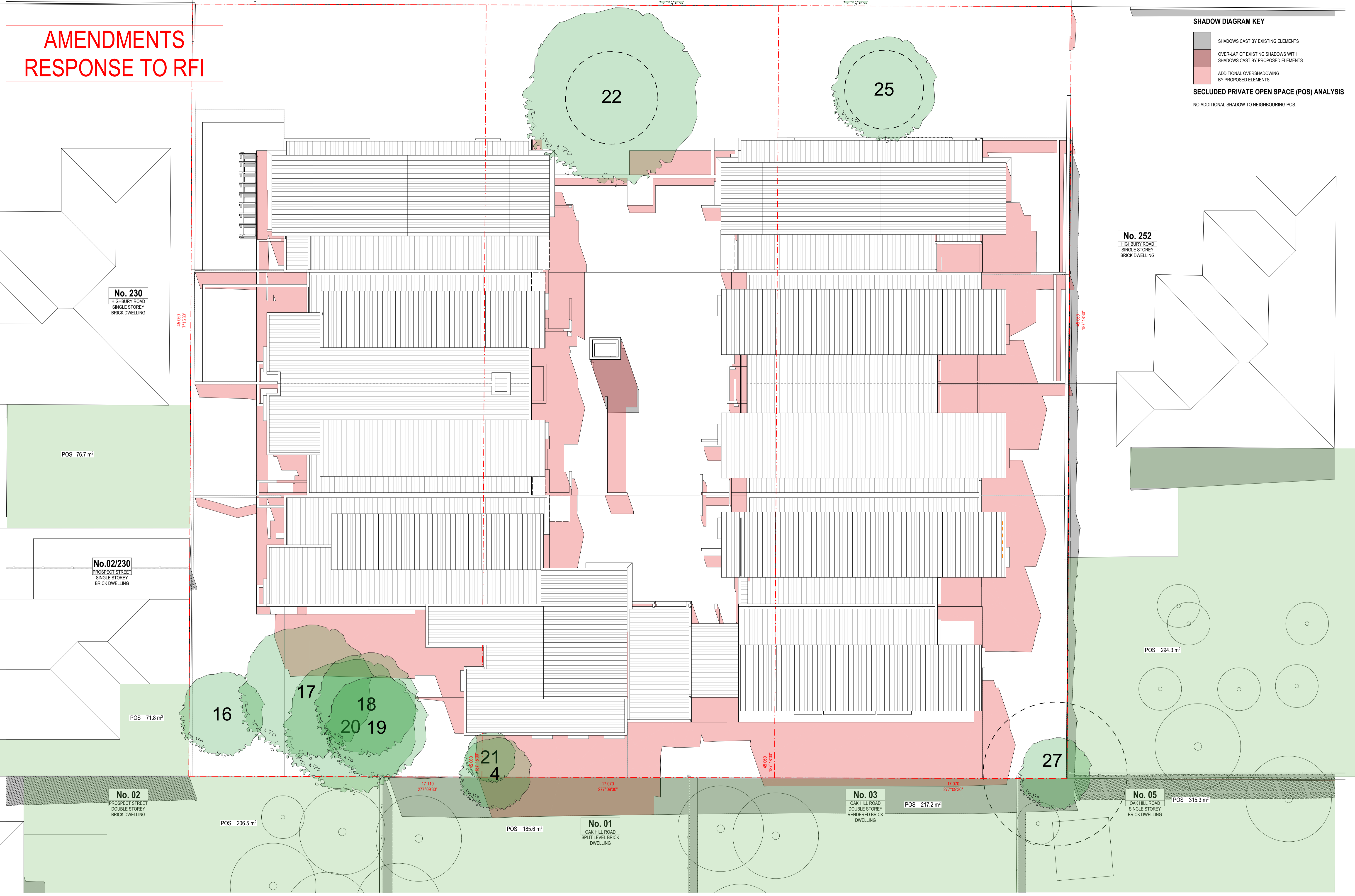
DRAWING TITLE	Shadow Diagrams - 11AM Sept. 22nd	DRAWING NUMBER	TP6.02	REVISION	
CHECKED		STATUS:	TOWN PLANNING		
SCALE	1:100 @ A1				
FILE:RPN.PDR					

AMENDMENTS RESPONSE TO RFI

SHADOW DIAGRAM KEY

- SHADOWS CAST BY EXISTING ELEMENTS
- OVER-LAP OF EXISTING SHADOWS WITH SHADOWS CAST BY PROPOSED ELEMENTS
- ADDITIONAL OVERSHADOWING BY PROPOSED ELEMENTS

SECLUDED PRIVATE OPEN SPACE (POS) ANALYSIS
NO ADDITIONAL SHADOW TO NEIGHBOURING POS.



REV.	DETAILS
1	RESPONSE TO RFI
2	AMENDMENTS FOR TOWN PLANNING
3	ISSUED FOR TOWN PLANNING

EP	DATE
02.11.2018	
19.10.2018	
15.06.2018	

All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

CHAMBERLAIN ARCHITECTS

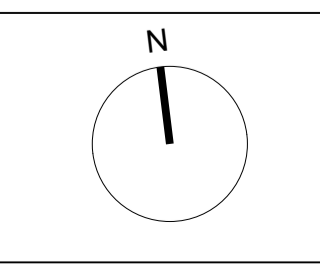
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1B STANLEY STREET
COLLINGWOOD VIC 3066 AUSTRALIA
PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

CLIENT
Pentagon Group

PROJECT NO.
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



DRAWING TITLE
Shadow Diagrams - 1PM Sept.

DRAWN
22nd

SCALE
1:100
@ A1

FILE:RPN.PDR

DRAWING NUMBER
TP6.03

STATUS: TOWN PLANNING

AMENDMENTS RESPONSE TO RFI

SHADOW DIAGRAM KEY

- SHADOWS CAST BY EXISTING ELEMENTS
- OVER-LAP OF EXISTING SHADOWS WITH SHADOWS CAST BY PROPOSED ELEMENTS
- ADDITIONAL OVERSHADOWING BY PROPOSED ELEMENTS

SECLUDED PRIVATE OPEN SPACE (POS) ANALYSIS

No.252 HIGHBURY ROAD

TOTAL POS	= 294.3m ²
EXISTING SHADOW	= 46.3m ²
NEW SHADOW	= 11.45m ²
AREA NOT IN SHADOW	= 236.5m ² GREATER THAN 40M² & 75%



REV.	DETAILS
-	RESPONSE TO RFI
-	AMENDMENTS FOR TOWN PLANNING
-	ISSUED FOR TOWN PLANNING

EP	DATE
02.11.2018	
19.10.2018	
15.06.2018	

All work shall conform to the specification and other relevant drawings. Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Name & Tel	Name & Tel	Name & Tel
Author Name & Tel	Client Name & Tel	Project Name & Tel
Designer Name & Tel	Architect Name & Tel	Structural Name & Tel
Engineer Name & Tel	Surveyor Name & Tel	Other Name & Tel

CHAMBERLAIN ARCHITECTS

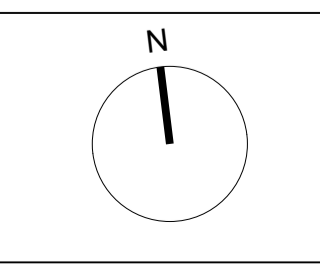
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PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
ABN:26 149 858 079

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Pentagon Group

PROJECT NO.
18005

PROJECT
Highbury Road
246-250 Highbury Road, Mount Waverley



DRAWING TITLE
Shadow Diagrams - 3PM Sept. 22nd

SCALE 1:100
@ A1
FILE:RPA.PDR

DRAWING NUMBER
TP6.04

STATUS: TOWN PLANNING



01 HIGHBURY ROAD VIEW

02 PEDESTRIAN VIEW



03 CENTRAL COURTYARD VIEW

REV	DETAILS
A	RESPONSE TO RFI
A	AMENDMENTS FOR TOWN PLANNING
-	ISSUED FOR TOWN PLANNING

EP	02.11.2018
EP	24.10.2018
EP	15.06.2018
BY	DATE

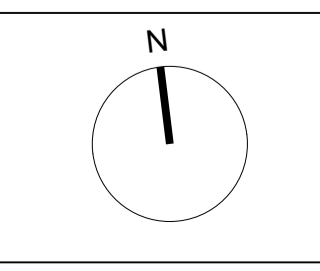
Author Name & Tel	Author Name & Tel	Author Name & Tel
Client Name & Tel	Client Name & Tel	Client Name & Tel
Project Name & Tel	Project Name & Tel	Project Name & Tel
Project Name & Tel	Project Name & Tel	Project Name & Tel

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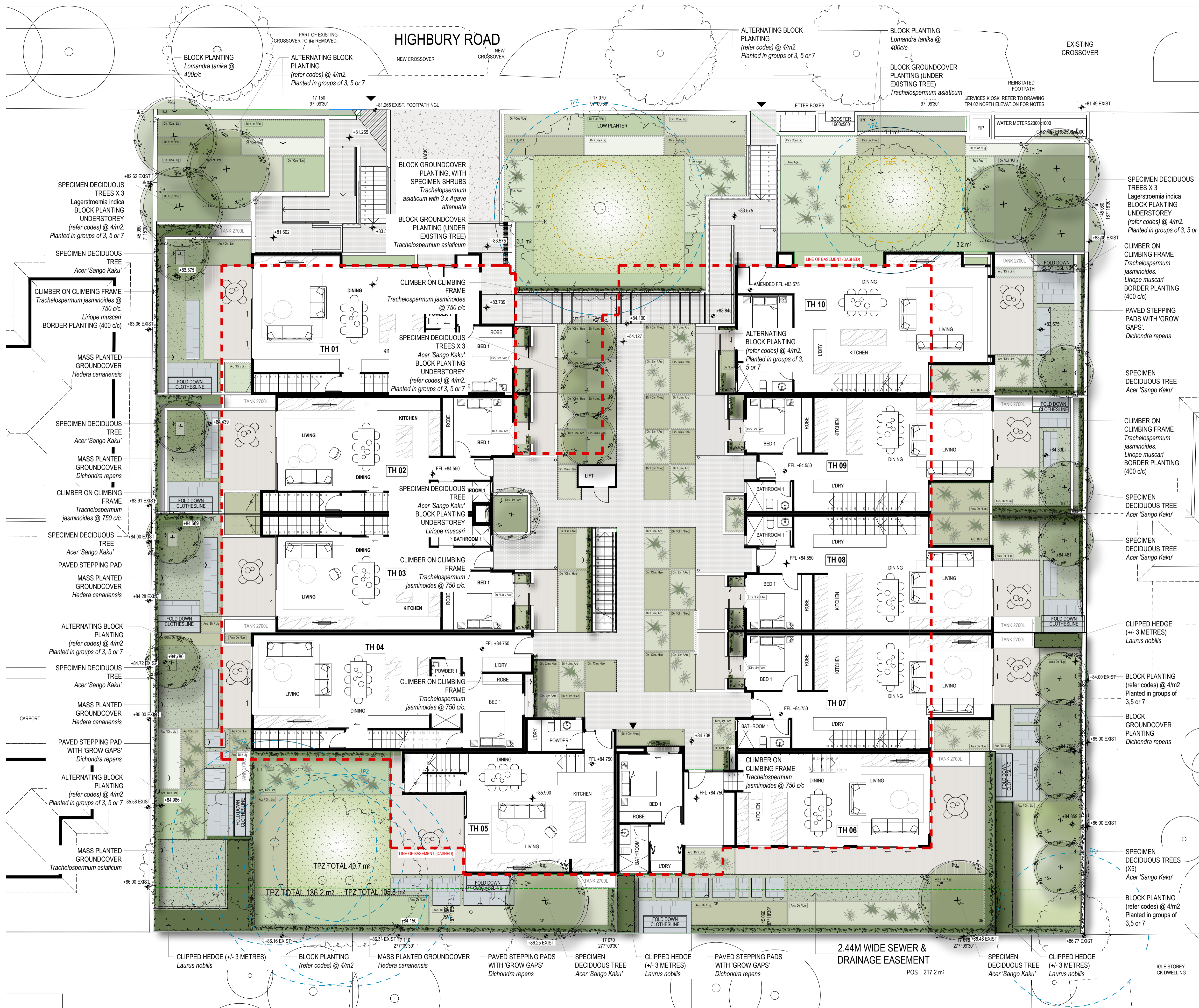
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PHONE +613 9414 4300
CHAMBERLAINARCHITECTS.COM.AU
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DRAWN	CHECKED	STATUS:	TOWN PLANNING		
SCALE	@ A1				
FILE:	RFI.PDR				



LEGEND

- EXISTING TREE RETAINED & PROTECTED (TPZ BLUE DASHED, SRZ ORANGE DASHED)
- SPECIMEN DECIDUOUS TREE (REFER PLANT SCHEDULE)
- CONCRETE SURFACE (TO CIVIL ENGINEERS DOCUMENTATION)
- STEPPING PADS WITH GROW GAPS (FINISH & PAVING FORMAT TBD)
- MASS PLANTED GROUNDCOVER (REFER PLANTING SCHEDULE)
- CLIPPED HEDGE
- 100 X 5mm MILD STEEL FLAT BAR GARDEN EDGING
- MASS SHRUB PLANTING
- CLIMBER ON CLIMBING FRAME

NOTE: INTERNAL COURTYARD PAVING, AS WELL AS ACCESS PATHS FROM Highbury Rd shown indicatively - REFER ARCHITECTS DOCUMENTATION FOR PAVING TYPE & FORMAT

DATE	DESCRIPTION	REVISION
22.10.18	ARCHITECTURAL UPDATES	A

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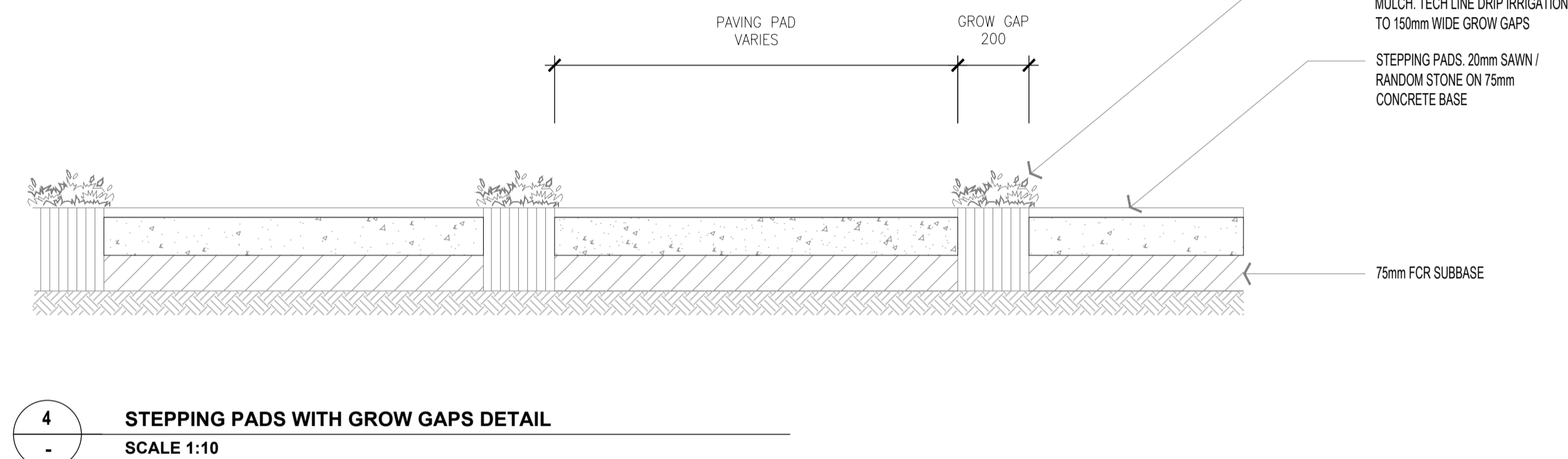
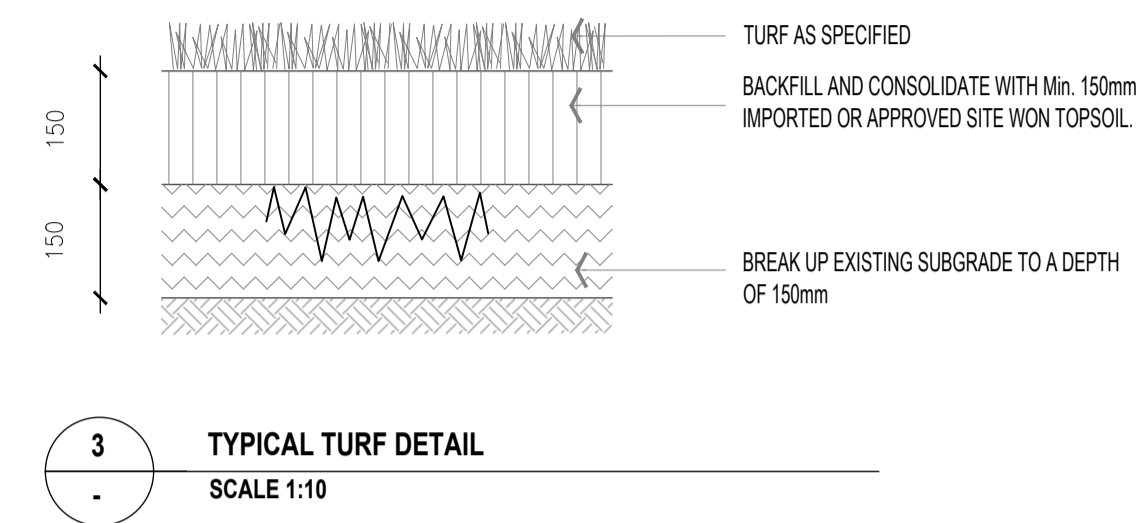
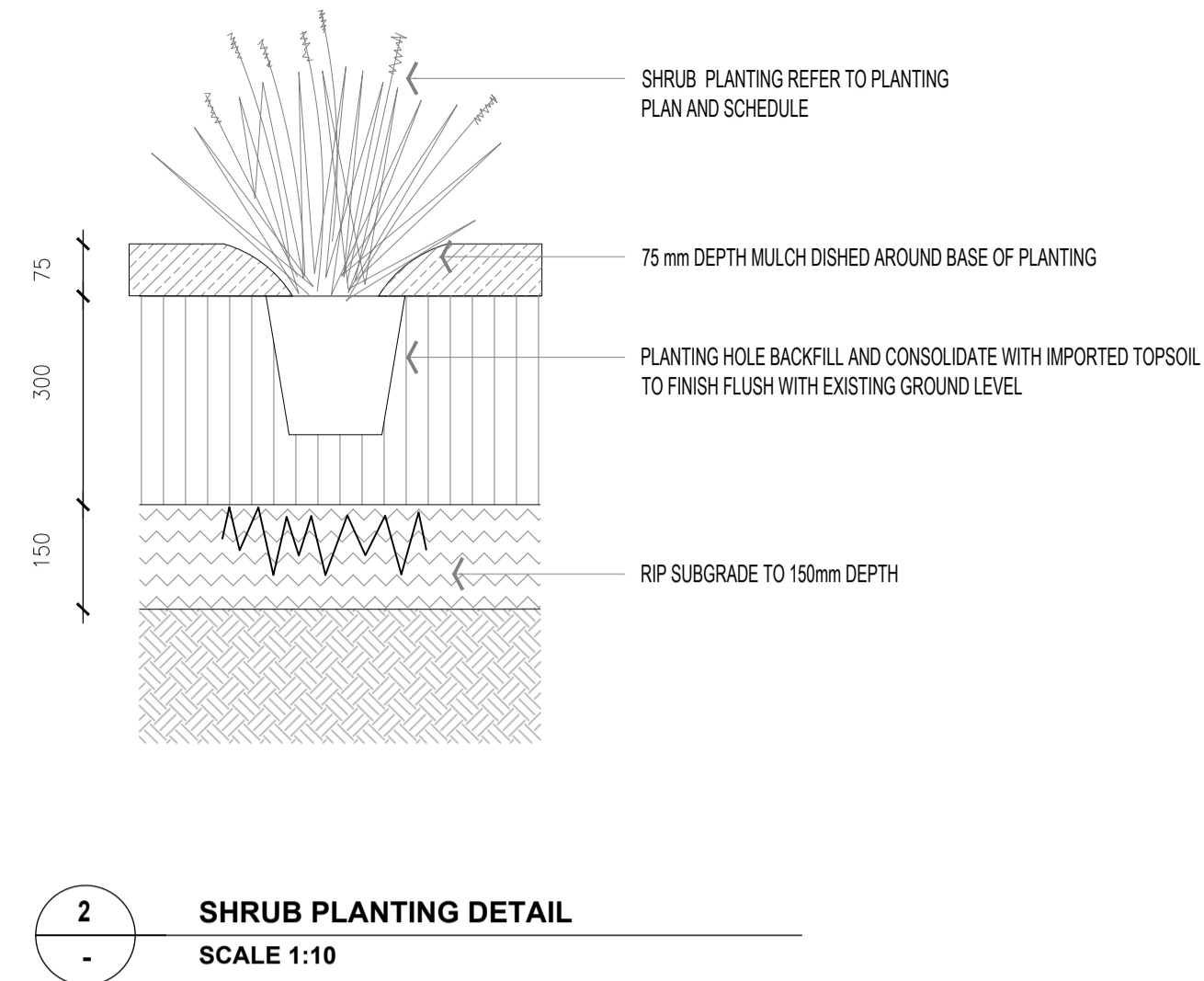
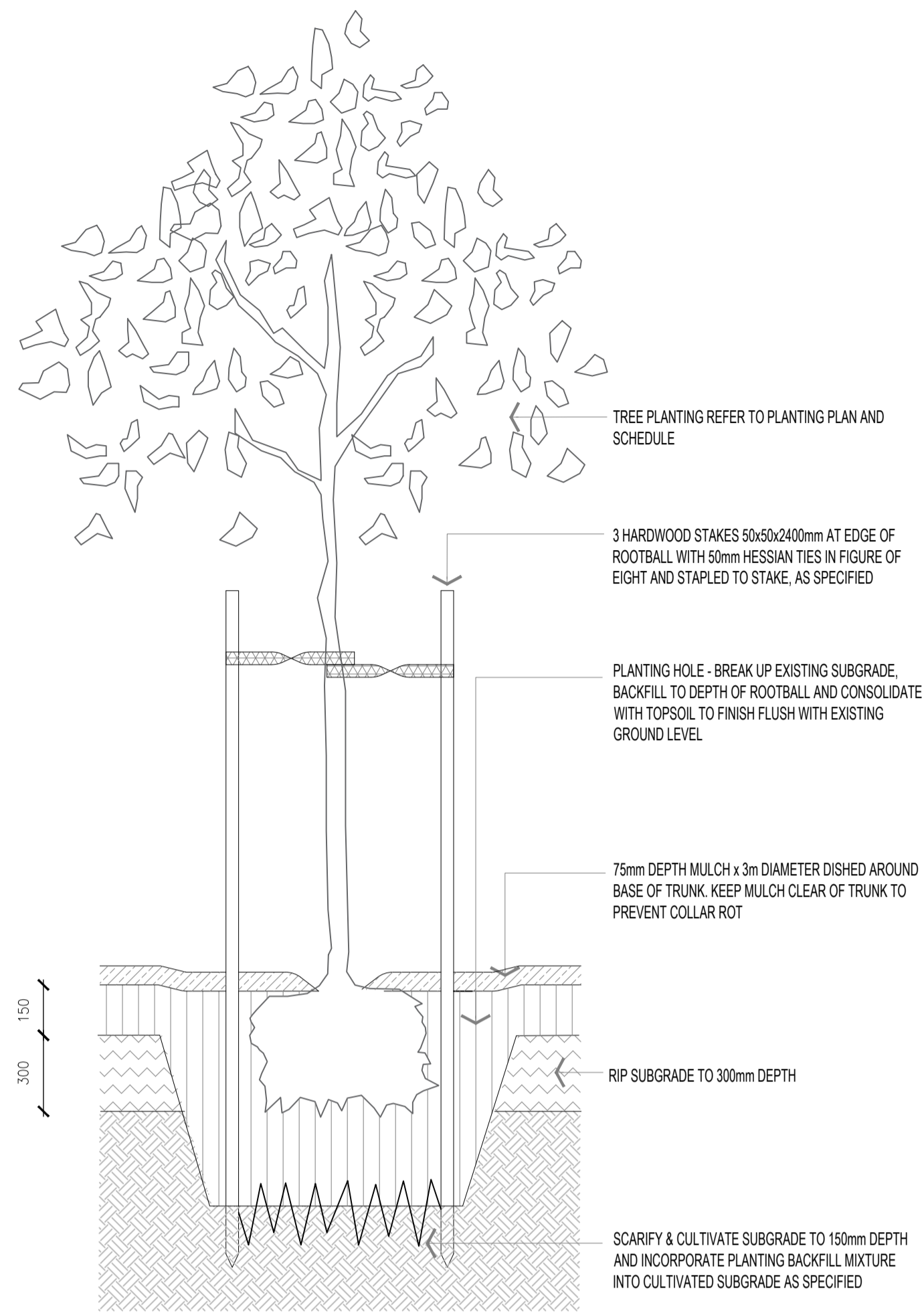
PROJECT
246-250 Highbury Rd, GLEN WAVERLEY

TITLE
LANDSCAPE CONCEPT PLAN

JOB NO: P18-05 DWG NO:
L01/A

DATE: 24.10.18
SCALE: 1:100@A1

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LAGERSTROEMIA 'NATCHEZ'



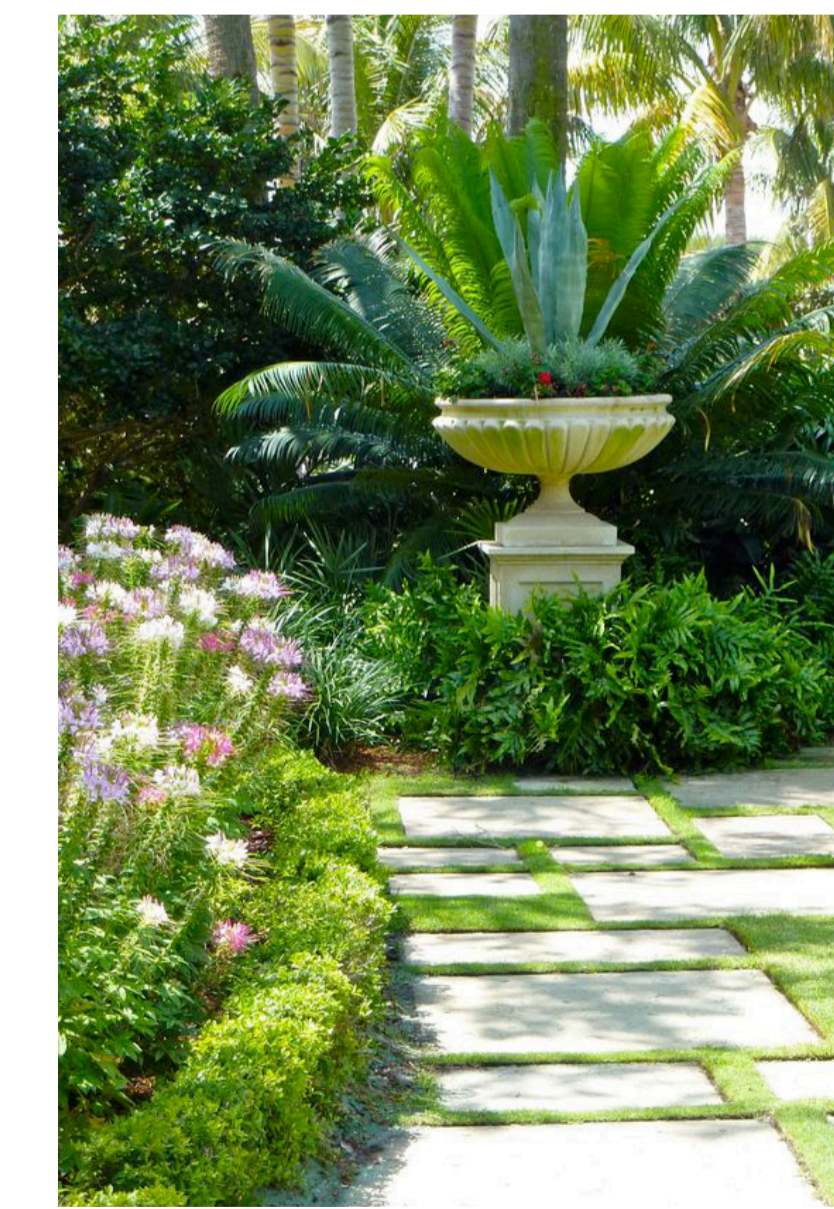
ACER 'SANGO KAKU'

246-250 HIGHBURY RD, GLEN WAVERLEY - INDICATIVE PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT RANGE	SPREAD RANGE	SPACING	POT SIZE	QTY
TREES							
LI	<i>Lagerstroemia natchez</i>	Crepe Myrtle Cultivar	4-6m	3-5m	AS SHOWN	200L	8
AP	<i>Acer palmatum 'Sango Kaku'</i>	Japanese Maple Cultivar	3-4m	3-4m	AS SHOWN	200L	18
SHRUBS AND HEDGE							
Acc	<i>Acacia cognata 'Dazzler'</i>	Acacia Dazzler	0.5-0.8m	0.5-0.8m	AS SHOWN	200mm	TO FUTURE DETAIL
Coa	<i>Correa alba</i>	Rock Correa	0.8-1.2m	0.5-0.8m	AS SHOWN	200mm	
Lan	<i>Laurus nobilis</i>	Bay	CLIPPED +/- 3m	0.8-1.5m	AS SHOWN	200mm	
Waf	<i>Waterhousea floribunda</i>	Weeping Lilli Pilli	CLIPPED +/- 3m	0.8-1.5m	AS SHOWN	200mm	
GRASS / GROUND COVER							
Arc	<i>Arthropodium cirratum</i>	Renga Renga Lily	0.4-0.7m	0.4-0.7m	AS SHOWN	140mm	TO FUTURE DETAIL
Cim	<i>Clivia miniata</i>	Kaffir Lily	0.4-0.7m	0.4-0.7m	AS SHOWN	140mm	
Dir	<i>Dichondra repens</i>	Kidney Weed	0.1-0.2m	2m	AS SHOWN	140mm	
Hec	<i>Hedera canariensis</i>	Canary Island Ivy	0.2-0.4m	5m	AS SHOWN	140mm	
Heo	<i>Helloborus orientalis</i>	Winter Rose	0.2-0.4m	0.2-0.4m	AS SHOWN	140mm	
Lig	<i>Liriope gigantea</i>	Giant Turf Lily	0.8-1m	0.5-0.8m	AS SHOWN	140mm	
Lim	<i>Liriope muscari</i>	Turf Lily	0.4-0.6m	0.3-0.5m	AS SHOWN	140mm	
Lot	<i>Lomandra 'Tanika'</i>	Tanika	0.6-0.7m	0.6-0.7m	AS SHOWN	140mm	
Tra	<i>Trachelospermum asiaticum</i>	Asiatic Jasmine	0.2-0.4m	2m	AS SHOWN	140mm	
Trj	<i>Trachelospermum jasminoides</i>	Star Jasmine	N/A		AS SHOWN	140mm	
CLIMBER							



PAVERS WITH 'GROW GAPS'



RANDOM 'ASHLAR' PAVING ARRANGMENT

DATE	DESCRIPTION	REVISION
22.10.18	ARCHITECTURAL UPDATES	A

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PROJECT

246-250 HIGHBURY RD, GLEN WAVERLEY

TITLE

DETAILS & PLANT SCHEDULE

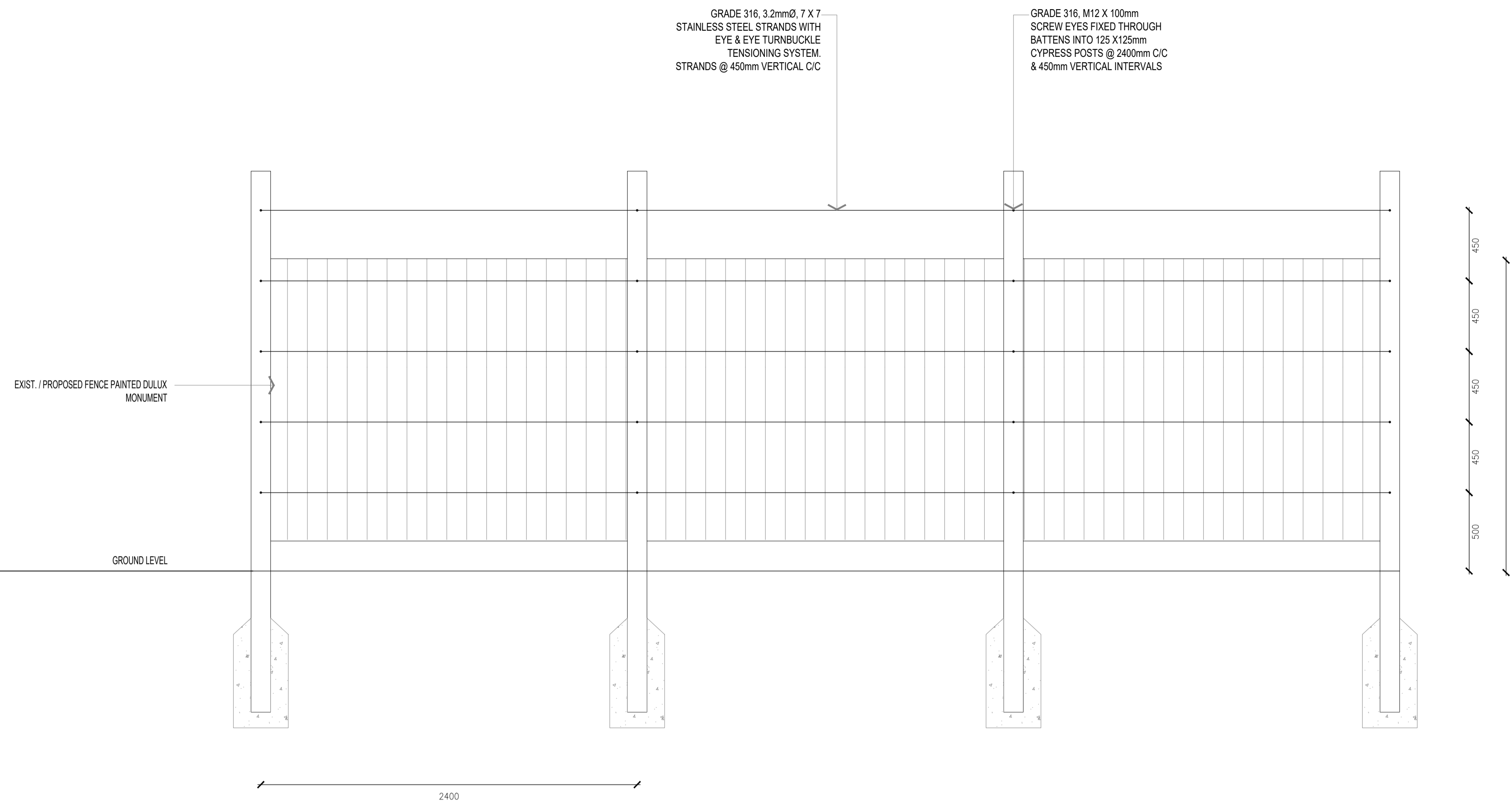
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DATE:	24.10.18		
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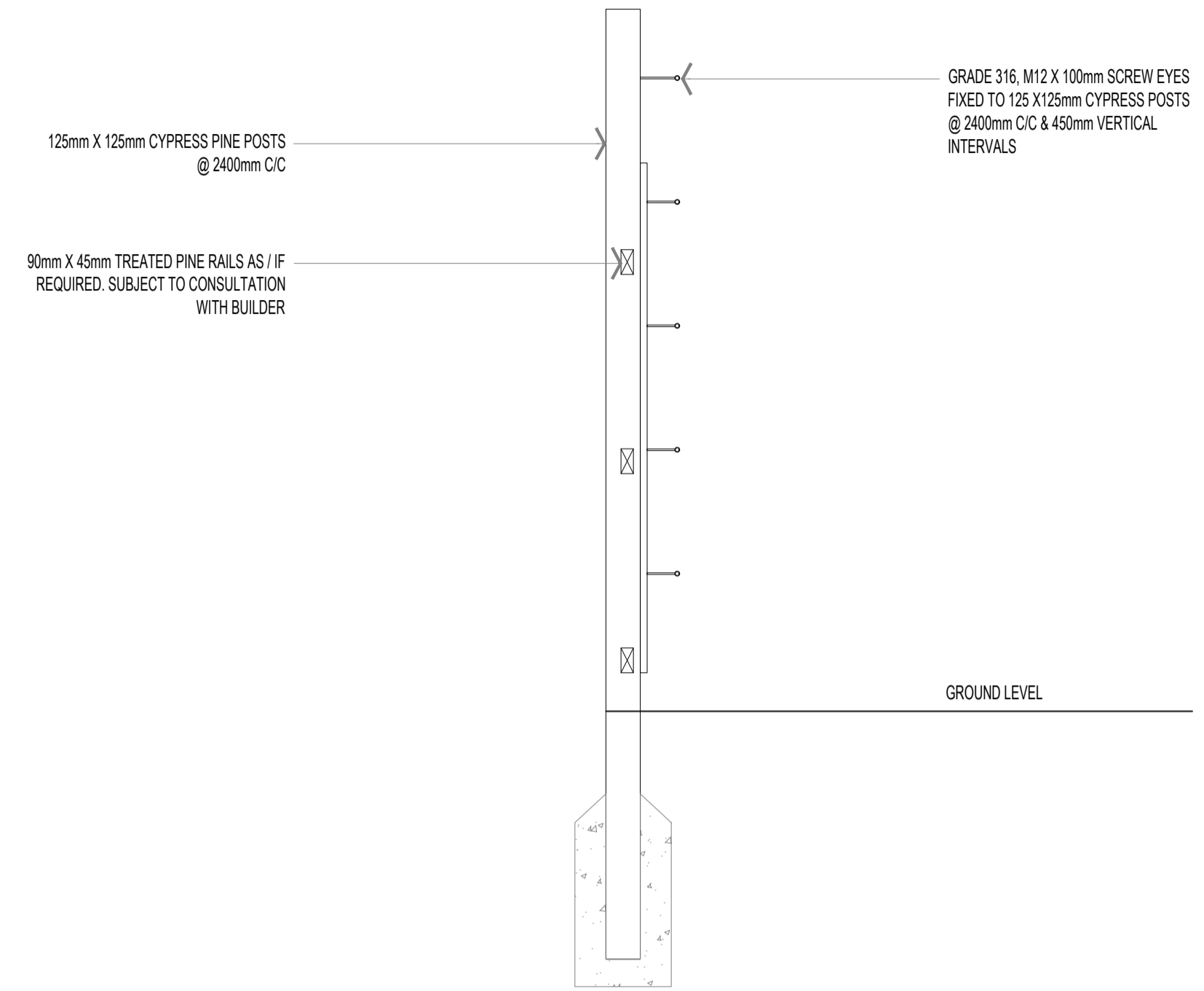
landscape consultancy & design
e: karshandmark@gmail.com.au
p: +61 (0)434 021 844

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1 FENCE / CLIMBING STRUCTURE TYPICAL DETAIL
SCALE 1:20



1 FENCE / CLIMBING STRUCTURE TYPICAL SECTION
SCALE 1:20



CLIMBER ON CLIMBING FRAME (MESH EXAMPLE)



CLIMBER ON STAINLESS TENSION CABLE



TRACHELOSPERMUM (STAR JASMINE)

DATE	DESCRIPTION	REVISION

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PROJECT
246-250 Highbury Rd, Glen Waverley

TITLE
DETAILS / IMAGES (2 OF 2)

JOB NO: P18-05	DWG NO: L03
DATE: 12.06.18	
SCALE: 1:100@A1	

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landscape consultancy & design
e: karshandmark@gmail.com.au
p: +61 (0)434 021 844

TOWN PLANNING

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ARBORICULTURAL ASSESSMENT REPORT

246 – 250 Highbury Road, Mount Waverley

REPORT PREPARED FOR: PENTAGON GROUP AUSTRALIA PTY LTD.

REPORT PREPARED BY: DAMIEN BURGESS
CONSULTING ARBORIST - DB HORTICULTURE PTY LTD.

UPDATED: 22/10/2018



www.dbhorticulture.com

20 Glen Avenue, Croydon Vic 3136 | phone: 0422 999 754 | email: damien@dbhorticulture.com

Contents

1. Brief	3
2. Overview	3
3. Methodology	3
4. Tree Protection Zones (TPZ's)	3
5. Site Plan	4
6. Tree Assessment Table	5
7. Photos	7
8. Discussion / Recommendations	12
9. Tree Descriptors	13
10. Proposed Design (Basement)	14
11. Proposed Design (Ground Floor)	15
Arborist Comment on Proposed Design	16
1. References	16

1. Brief

Pentagon Group Australia has requested an Arboricultural Assessment Report containing details of species, age, size, health, suitability, amenity value and Tree Protection Zones (TPZ) for specified trees within and near to three adjoining properties at 246 – 250 Highbury Road, Mount Waverley.

2. Overview

Two of the sites contain a single dwelling and the other contains a tennis court. A multi-dwelling development is proposed across the entire site.

3. Methodology

A visual site inspection of the trees took place on Monday June 12th, 2017. The trees were not climbed nor was any soil excavation or diagnosis of the internal or below ground components of the trees undertaken.

The trees were photographed on site using an iPhone 7. Height and Spread of trees was recorded via visual estimation. Diameter at Breast Height (DBH) was taken at 1.4 metres above ground level using a diameter tape.

Not all of the tree canopies shown on the site plan on page 4 are present and there are some trees present which are not shown.

A Retention Value for each tree has been determined using tree condition factors and values as listed on Page 13 of this report.

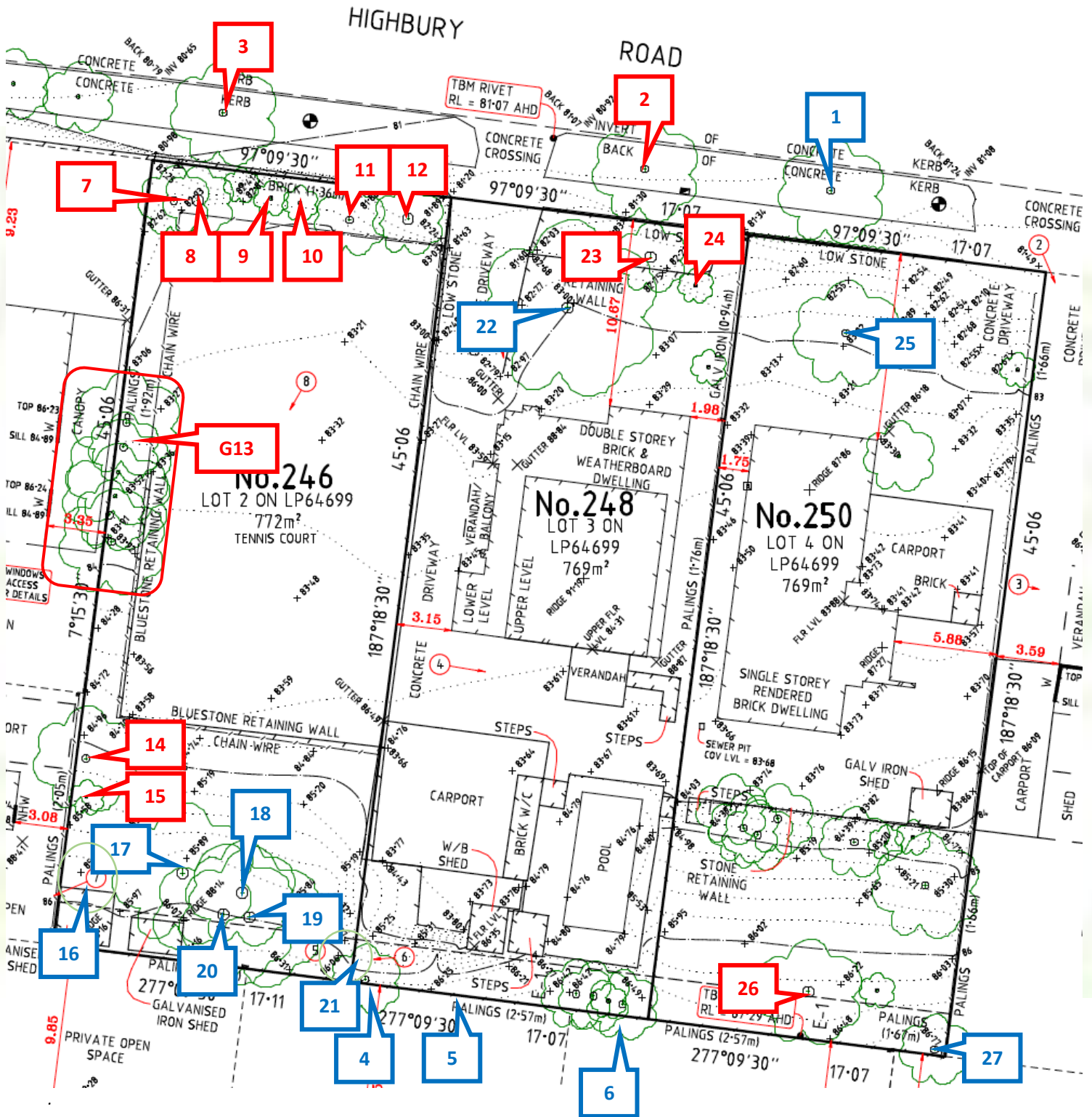
4. Tree Protection Zones (TPZ's)

Where appropriate, Tree Protection Zones and Structural Root Zones have been applied as per AS4970-2009, 'Protection of Trees on Development Sites'.

Tree Protection Zones are determined by multiplying the Trunk Diameter @ Breast Height (DBH) x 12. TPZ's are measured from the centre of the trunk.

Structural Root Zones are the area required for tree stability and are only necessary where major encroachment into the TPZ is to occur. The SRZ radius = (Diameter x 50)^{0.42} x 0.64.

5. Site Plan (Existing)



6. Tree Assessment Table

#	Species	Common name	Native/ Exotic	Height (m)	Spread (m)	DBH (cm)	TPZ (m)	SRZ (m)	Age	Condition	Structure	Form	Amenity Value	Retention value	Comments
STREET TREES															
1	<i>Eucalyptus scoparia</i>	Wallangarra White Gum	N	9	8	34	4.1	2.3	M	G	F	F	G	H	
2	<i>Eucalyptus scoparia</i>	Wallangarra White Gum	N	12	7	34	4.1	2.5	M	P	P	P	P	L	Consider removal and replacement
3	<i>Eucalyptus scoparia</i>	Wallangarra White Gum	N	11	7	35	4.2	2.5	M	P	P	P	P	L	Consider removal and replacement
TREES WITHIN NEIGHBOURING PROPERTIES															
4	<i>Jacaranda mimosifolia</i>	Jacaranda	E	8	6	20	2.4	2.0	M	G	F	F	F	M	
5	<i>Ligustrum lucidum</i>	Privet	E	9	4	20/15	3.0	2.3	M	G	F	F	P	L	
6	<i>Syzygium smithii</i>	Lilly Pilly	N	9	7	18/18/18	3.7	2.3	M	G	P	G	G	M	
TREES WITHIN NO. 246 Highbury Road															
7	<i>Hakea salicifolia</i>	Willow Hakea	N							D			P	L	Dead tree
8	<i>Callistemon viminalis</i>	Weeping Bottlebrush	N	7	4	14/16/13	3.7	2.6	M	F	P	P	P	L	
9	<i>Pittosporum undulatum</i>	Sweet Pittosporum	N	5	3	15	2.0	1.7	SM	P	P	P	P	L	Weed species
10	<i>Pittosporum undulatum</i>	Sweet Pittosporum	N	5	3	12/14	2.2	1.9	SM	P	P	P	P	L	Weed species
11	<i>Hakea salicifolia</i>	Willow Hakea	N	6	4	14/15	2.5	2.2	SM	P	P	P	P	L	
12	<i>Ficus rubiginosa</i>	Port Jackson Fig	N	9	6	35/39/29	7.2	2.8	M	P	P	P	P	L	
Group 13	<i>Cupressus macrocarpa</i>	Monterey Cypress	E	11	5	40	4.8	2.5	M	F	F	F	F	L	Six trees surveyed as a group
14	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	N	8	6	28	3.4	2.1	M	F	P	F	P	L	
15	<i>Syzygium smithii</i>	Lilly Pilly	N	8	6	19/20	3.4	2.1	M	F	P	F	P	L	
16	<i>Brachychiton populneus</i>	Kurrajong	N	12	5	43	5.2	2.6	M	G	G	G	F	M	
17	<i>Eucalyptus mannifera</i>	Brittle Gum	N	20	10	47	5.6	2.6	M	G	G	G	G	H	
18	<i>Corymbia maculata</i>	Spotted Gum	N	20	6	30	3.6	2.1	M	G	G	F	G	H	
19	<i>Corymbia maculata</i>	Spotted Gum	N	20	8	48	5.8	2.5	M	G	G	F	G	H	
20	<i>Corymbia maculata</i>	Spotted Gum	N	20	10	55	6.6	2.7	M	G	G	G	G	H	
TREES WITHIN NO. 248 Highbury Road															
21	<i>Brachychiton populneus</i>	Kurrajong	N	7	3	16	2.0	1.9	SM	G	G	G	F	M	

#	Species	Common name	Native/ Exotic	Height (m)	Spread (m)	DBH (cm)	TPZ (m)	SRZ (m)	Age	Condition	Structure	Form	Amenity Value	Retention value	Comments
22	<i>Corymbia citriodora</i>	Lemon-scented Gum	N	17	14	48	5.8	2.7	M	G	G	G	G	H	
23	<i>Melaleuca linariifolia</i>	Snow in Summer	N	5	4	12/12/12	2.5	2.2	SM	P	P	P	P	L	
24	<i>Pittosporum eugenoides</i> 'Variegatum'	Variegated Pittosporum	E	5	4	10/10	2.0	1.6	SM	F	F	F	P	L	
TREES WITHIN NO. 250 Highbury Road															
25	<i>Liquidambar styraciflua</i>	Sweet Gum	E	13	10	33	4.0	2.3	M	G	G	G	F	M	
26	<i>Photinia robusta</i>	Photinia	E	7	8	15/16/15	3.2	2.3	M	G	F	F	P	L	
27	<i>Syzygium smithii</i>	Lilly Pilly	N	9	7	35	4.2	2.3	M	F	G	G	P	M	
*Trees shown in red are recommended for removal *Dimensions listed for trees within neighbouring properties are estimates only due to inaccessibility															

7. Photos



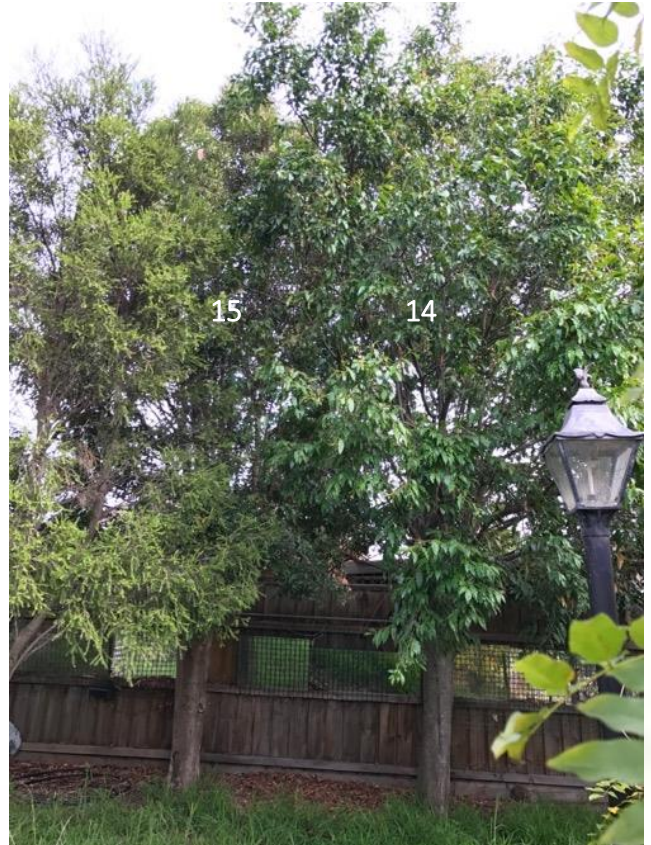
Trees 1 - 3



Trees 12 – 15 & 17



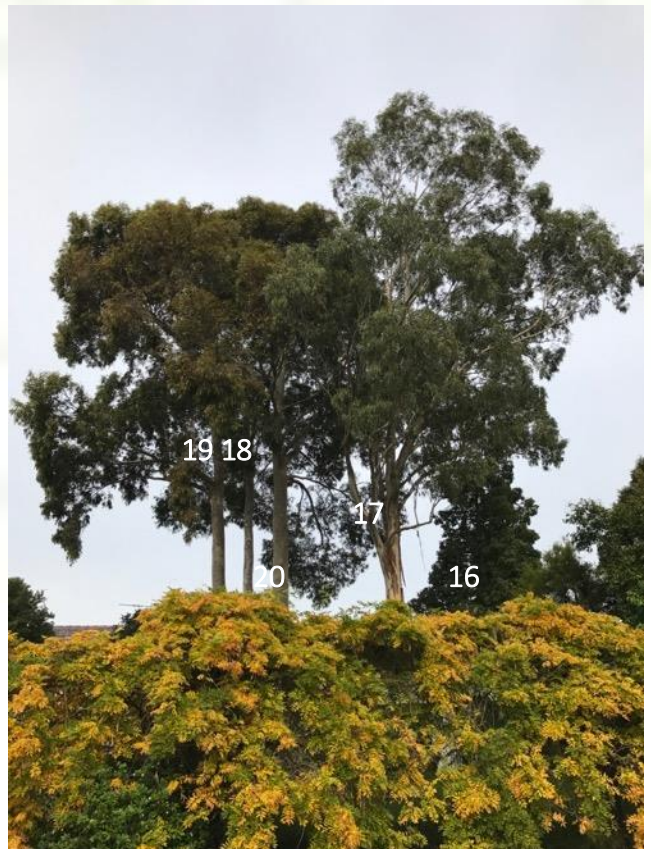
Group 13



Trees 14 & 15



Tree 16



Trees 16-20



Trees 4 – 6 & 14 - 21



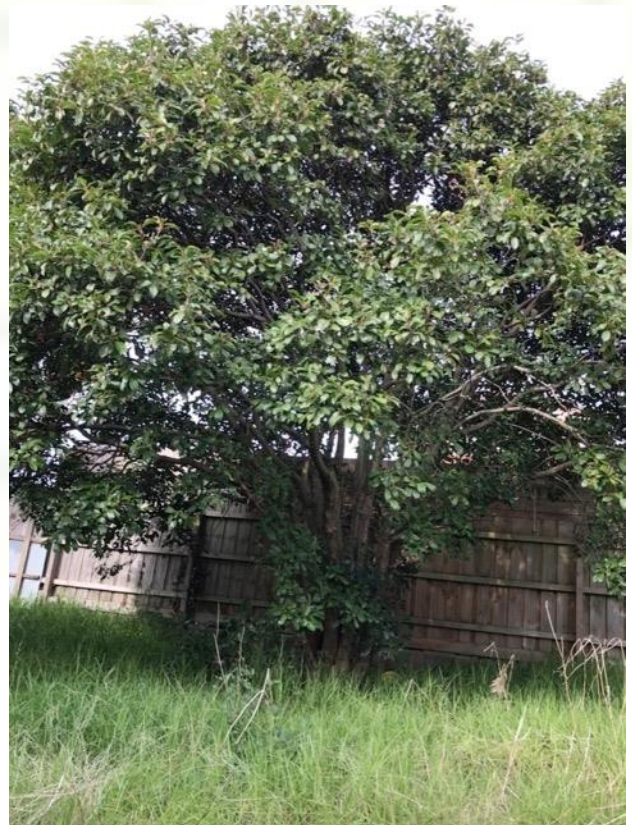
Trees 1, 22, 24 & 31



Trees 6, 37 & 38



Tree 25



Tree 26



Tree 27



Tree 2

8. Discussion / Recommendations

Street Trees

Trees 1 to 3 are Wallangarra White Gums on the Highbury Road nature strip. These trees are all poor in form due to heavy pruning to maintain clearance from overhead powerlines. Trees 2 & 3 are particularly poor; being totally one sided. Removal and replacement of these two trees at the expense of the applicant should be considered, if there are plans to reconfigure driveway crossings as part of the development.

Trees within Neighbouring Properties

Trees 4, 5 & 6 are all located within the neighbouring property to the rear of No.248. The TPZ's of these trees will need to be considered in the design.

Trees within No.246 Highbury Road

At the rear of this property are three mature Spotted Gums (Trees 18-20) and Tree 17, a large Brittle Gum. All of these trees are rated as High Retention value and should be preserved in the development. Nearby is Tree 18, a Kurrajong, which is rated as Moderate Retention Value. This tree should also be preserved if possible. The remaining trees in this property are all considered to be of Low Retention Value and should be removed.

Trees within No.248 Highbury Road

Tree 22 is a large Lemon-scented Gum in the front yard of this property. It makes a significant contribution to the amenity of the streetscape, is rated as High Retention value and should be preserved in the development. Tree 21 is a small Kurrajong at the rear of the site. It is not a significant tree but its location suggests that it could be retained without being an impost on the design. The remaining trees in this property are all considered to be of Low Retention Value and should be removed.

Trees within No.250 Highbury Road

Tree 25 is a Liquidambar located on the front lawn. It is rated as Moderate Retention Value and should be preserved if its location does not conflict with design plans. Tree 27 is a Lilly Pilly in the rear south-east corner. It is a reasonable tree, rated as Moderate Retention value and its location suggests that it could be retained without being an impost on the design. The remaining trees in this property are all considered to be of Low Retention Value and should be removed.

June 12th, 2017.

Retention value should be considered in the context of a tree being worthy of being a material constraint on the site. Low retention value trees are by definition not worthy of being a material constraint, however, Low Retention value trees should not necessarily always be removed in all cases. Trees of Moderate Retention Value should be considered for retention where they are not a material constraint on the site. Where they conflict with plans for the site, either retention or removal are considered as appropriate options. High Retention Value trees should be retained and designed around.

9. Tree Descriptors

Age

Y	Young	Tree is juvenile or recently planted
SM	Semi-mature	Tree is established and actively growing
M	Mature	Tree has reached expected maximum size
OM	Over Mature	Tree is over mature and in decline

Condition

G	Good	Full crown, free of disease, good colour, good extension growth of twigs, no dieback
F	Fair	Tree shows one or more of the following: <25% deadwood, dieback, unbalanced canopy, minor pathogens
P	Poor	Tree shows one or more of the following: >25% deadwood, major pathogen presence, structural faults
D	Dead	Tree is dead

Structure

G	Good	Good branch attachments and no structural defects present, no co-dominant stems, good branch and trunk taper, good buttressing at base of trunk
F	Fair	Some minor structural defects or cavities may be present
P	Poor	Major defects to trunk, branches or roots, poor attachment points, missing bark, likely points of failure
H	Hazardous	Tree poses immediate danger and should be removed

Form

G	Good	Full and balanced canopy
F	Fair	Minor asymmetry in canopy shape
P	Poor	Major asymmetry, unbalanced appearance

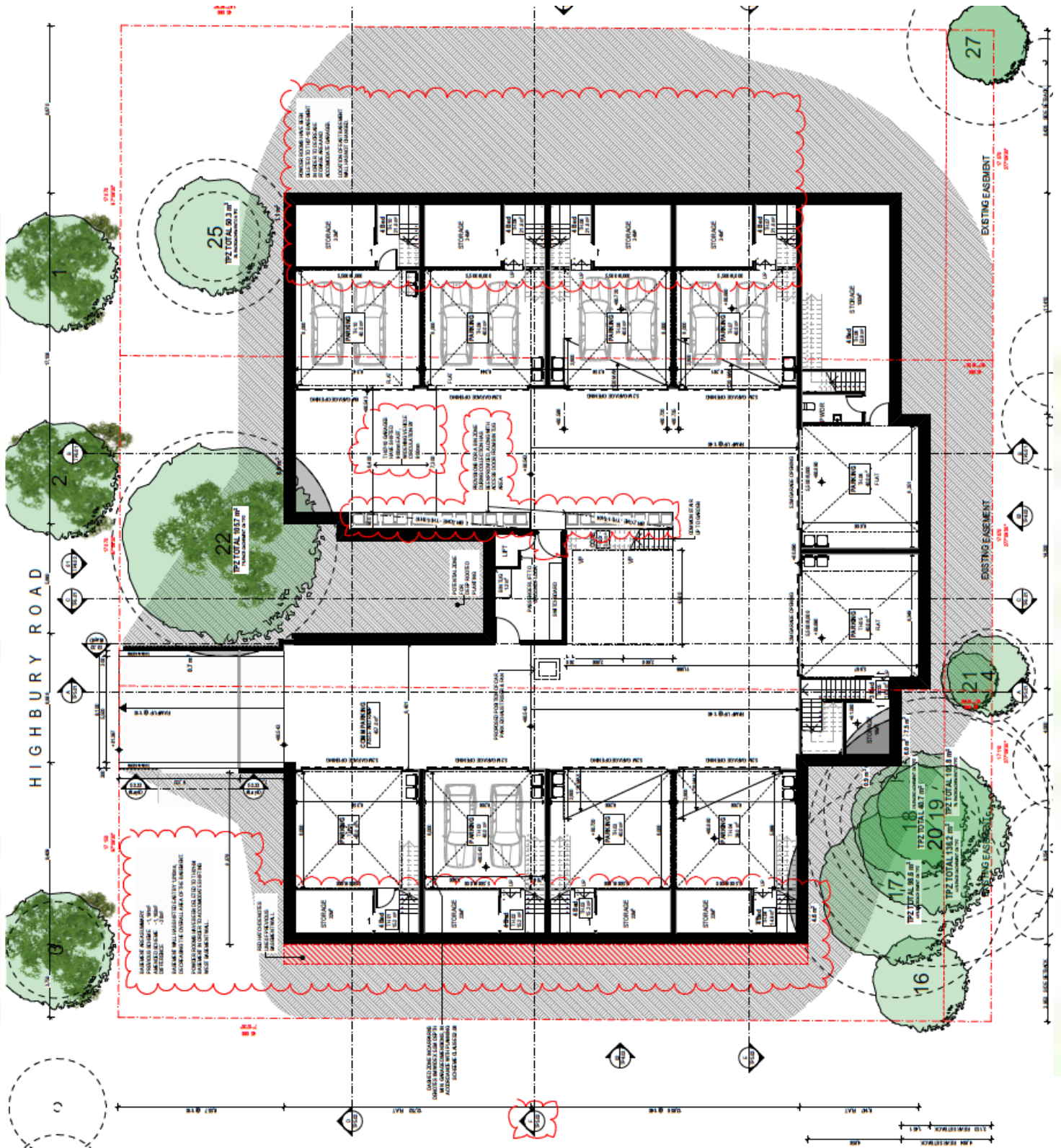
Amenity Value

G	Good	Attractive tree which contributes significantly to the surrounding landscape and public realm, may provide good screening and shade qualities
F	Fair	Tree contributes to its immediate surroundings, may be one of a group of trees and/or provide moderate screening and shading qualities
P	Poor	Tree does not make a positive contribution to the landscape and could be considered for removal

Retention Value

L M H	Low, Moderate or High	An assessment which incorporates the above criteria and the Safe Useful Life Expectancy of the tree
-------	-----------------------	---

10. Proposed Design (Basement)



12. Arborist Comment on Proposed Design

Chamberlain Architects has provided a copy of the latest design, as shown above on pages 14 & 15. It is noted that Trees 1, 2, 3, 4, 16, 17, 18, 20, 21, 22, 25 & 27 are to be retained in the design. In all cases TPZ encroachment is less than 10% at both basement and ground level. Under the guidelines of AS4970-2009, 'Protection of Trees on Development Sites', TPZ encroachment of 10% or less is classified as 'minor' encroachment and is considered viable without adversely affecting the health or stability of retained trees.

Damien Burgess

Grad. Cert. Arboriculture Cert. Horticulture ISA TRAQ

Consulting Arborist/Director
DB Horticulture Pty Ltd.

22nd October 2018.

13. References

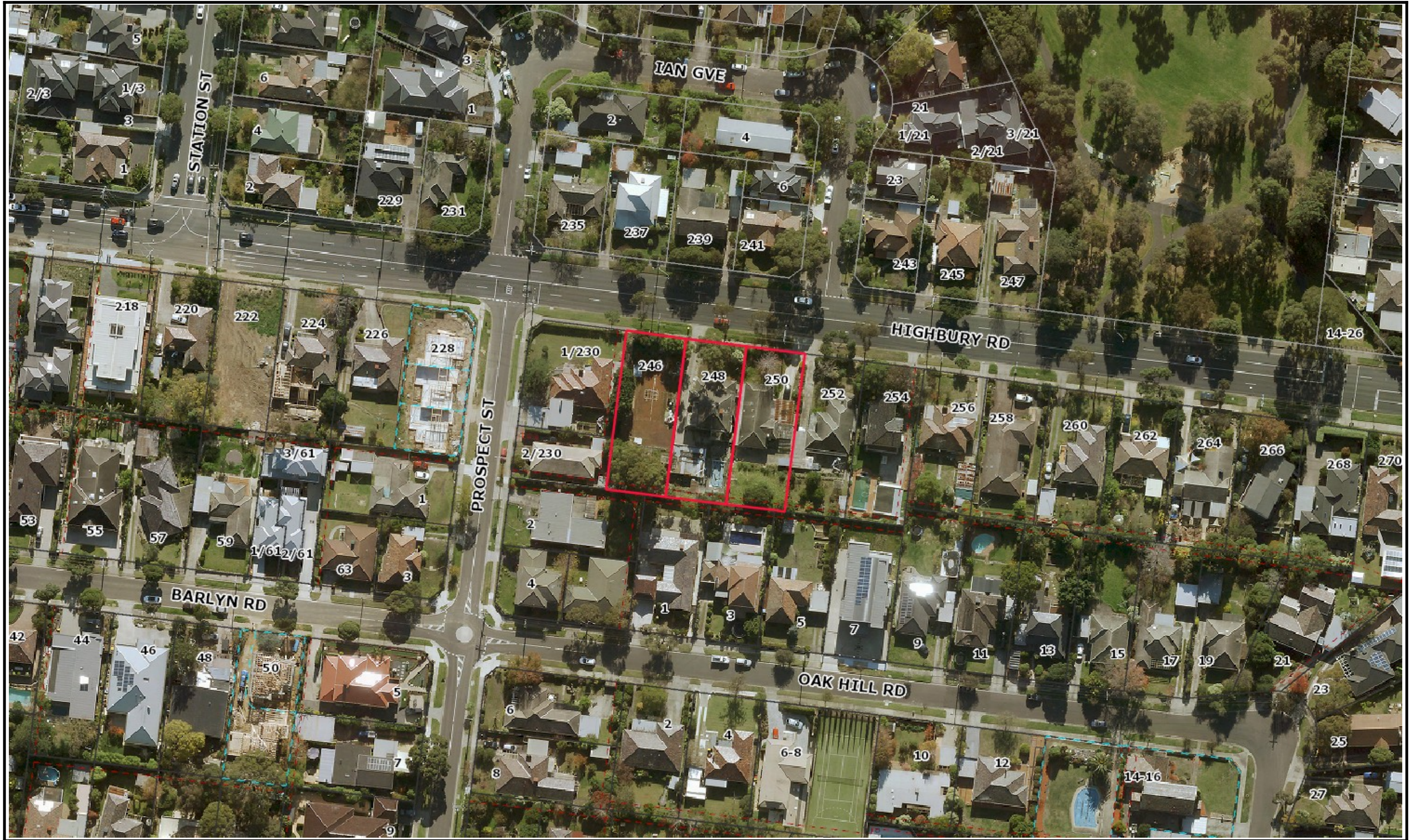
- Clark, J.R. & Matheny N.P. (1998), *Trees and Development: A Technical guide to preservation of trees during land development*, ISA Publishing
- Costermans, L.F. (2006), *Trees of Victoria and adjoining areas*, Costermans Publishing
- Standards Australia (2009), *AS4970-2009 Protection of Trees on Development Sites*, Standards Australia

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Unless expressed otherwise; the information contained in this report covers only those items that were covered in the project brief or that were examined during the assessment and reflect the condition of those items at the time of inspection; and the inspection undertaken as part of the preparation of this report was limited to visual examination of accessible components of any tree without climbing the tree or removal of any part of the tree or any dissection, excavation or probing unless otherwise stipulated.

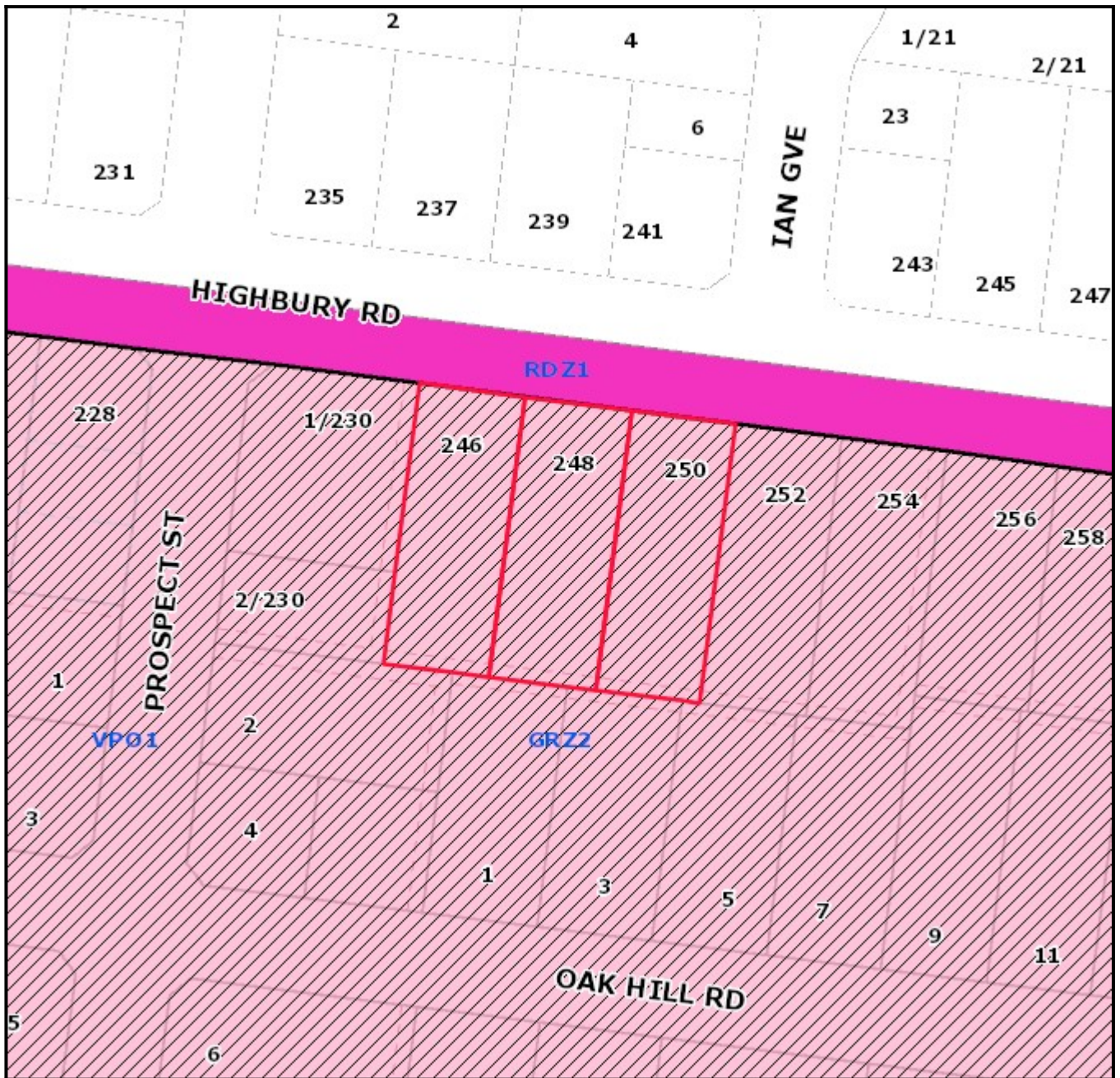
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Attachment 2: 246-250 Highbury Road, Mount Waverley





Planning Overlays and Zones



Legend

Planning Zones

Planning Overlays



1:1000

Address

246-250 Highbury Road MOUNT WAVERLEY VIC 3149



Objector Map

Subject land shaded light red. Objector properties shaded dark green and pinpointed.

- Railway Lines
- Arterial Roads
- Arterial Roads
- Local Roads
- Proposed Roads
- Crown Open Space
- Monash Reserve / Open Space
- Non Monash Open Space
- Pipe Track
- Public Golf Course
- Public Golf Course Crown Open Space
- Monash Region
- Leash Free Areas
- 4 Property & Address No.
- Common Property



1:2000



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