

## DRAWING SCHEDULE

TP01	EXISTING CONDITIONS
TP02	URBAN CONTEXT
TP03	DESIGN RESPONSE
TP03A	DESIGN RESPONSE - STREETScape - PERSPECTIVE
TP04	BASEMENT PLAN
TP05	GROUND FLOOR PLAN
TP06	1ST FLOOR PLAN
TP07	2ND FLOOR PLAN
TP08	3RD FLOOR PLAN
TP09	4TH FLOOR PLAN
TP10	ROOF PLAN
TP11	ELEVATIONS MATERIAL SCHEDULE
TP12	ELEVATIONS
TP13	SHADOW STUDY 9AM SEP
TP14	SHADOW STUDY 12PM SEP
TP15	SHADOW STUDY 3PM SEP
TP16	SHADOW STUDY 9AM JUNE
TP17	SHADOW STUDY 10AM JUNE
TP18	SHADOW STUDY 11AM JUNE
TP19	SHADOW STUDY 12PM JUNE
TP20	SHADOW STUDY 1PM JUNE
TP21	SHADOW STUDY 3PM JUNE
TP22	CROSS SECTIONS

# 7-9 NICHOLSON COURT CLAYTON

TOWNPLANNING RFI SUBMISSION JULY 2022





COURT

NICHOLSON

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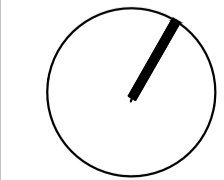
Symbol	Description	Symbol	Description		
104	Existing Surface	x	628	Steps	
+	107	Floor Level	x	630	Eave
108	Roof Level	x	632	Parapet	
201	Single Tree > 2m	x	634	Ridge Line	
203	Group of Trees / Shrubs	x	635	Spouting/Gutter	
308	Side Entry Drainage Pit	x	712	Electricity Pole only	
399	Grated Drainage Pit	x	713	Electricity Pole with Light	
310	Junction Drainage Pit	x	716	Electricity Pit	
408	Back of Kerb/Channel	x	738	Overhead Electricity Line	
407	Invert of Kerb/Channel	x	721	Telecommunications Pit	
409	Back of Kerb/Channel	x	741	Sewerage Pit	
410	Pedestrian Path	x	754	Water Meter	
503	Signs	x	903	Fence	
601	House	x	950	Boundary	
602	Minor Building	x	950	Boundary	
604	Verandah/Deck	x	950	Boundary	
605	Window	x	950	Boundary	
606	Door	x	950	Boundary	
617	Wall	x	950	Boundary	
618	Chimney	x	950	Boundary	
628	Steps	x	950	Boundary	
630	Eave	x	950	Boundary	
632	Parapet	x	950	Boundary	
634	Ridge Line	x	950	Boundary	
635	Spouting/Gutter	x	950	Boundary	
712	Electricity Pole only	x	950	Boundary	
713	Electricity Pole with Light	x	950	Boundary	
716	Electricity Pit	x	950	Boundary	
738	Overhead Electricity Line	x	950	Boundary	
721	Telecommunications Pit	x	950	Boundary	
741	Sewerage Pit	x	950	Boundary	
754	Water Meter	x	950	Boundary	
903	Fence	x	950	Boundary	
950	Boundary	x	950	Boundary	
950	Boundary	x	950	Boundary	
950	Boundary	x	950	Boundary	
950	Boundary	x	950	Boundary	
950	Boundary	x	950	Boundary	

Legend  
1:1

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
 ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Existing Conditions

JOB NO:  
2203  
 SCALES:  
1:200

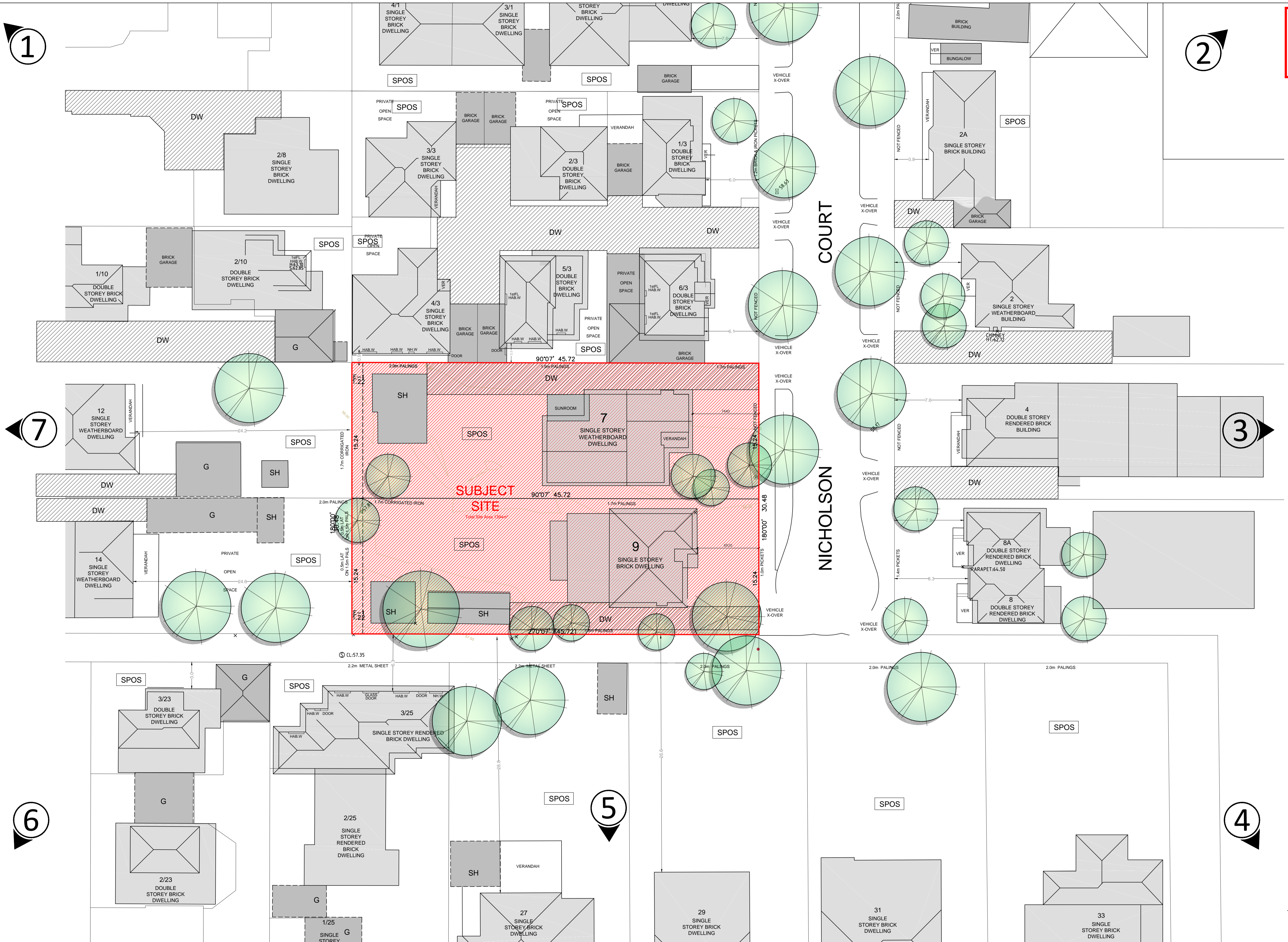
AUTHOR:  
PP  
 DATE:  
21-07-22

DRAWING NO:  
TP-01  
 A1 size sheet:

REV:  
2

PITARD GROUP





- ① 0.2km MEADE RESERVE  
1.8km HUNTINGDALE PRIMARY SCHOOL  
2.0km HUNTINGDALE TRAIN STATION  
5.0km CHADSTONE SHOPPING CENTER
- ② 1.4km CLAYTON NORTH PRIMARY SCHOOL  
0.5km MONASH CHILDRENS HOSPITAL  
1.8km WAYERLEY PRIVATE HOSPITAL
- ③ 0.5km CLAYTON TRAIN STATION  
0.3km ST PETERS PRIMARY SCHOOL  
2.3km SPRINGVALE HOMEMAKER CENTRE  
2.4km MONASH TECH COLLEGE
- ④ 0.2km CLAYTON SHOPPING CENTRE  
5km SANDOWN RACEWAY  
10km DANDENONG HOSPITAL
- ⑤ 0.3km CLAYTON KINDERGARDEN  
1.0km NAMAT JIRA PARK  
2.0km CLARINDA SHOPPING VILLAGE
- ⑥ 4.2km VICROADS  
3.5km KARKAROOK PARK  
65M SOUTHLAND SHOPPING VILLAGE
- ⑦ 5km MCKINNON SECONDARY COLLEGE  
6km SOUTHLAND SHOPPING VILLAGE  
65M BENTLEIGH SECONDARY COLLEGE

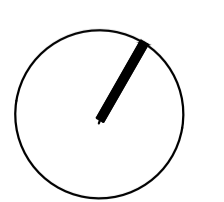
**LEGEND:**

	SUBJECT SITE
	DRIVEWAY
	SINGLE STOREY BUILDING
	DOUBLE STOREY BUILDING
	TRIPLE STOREY BUILDING
	BRICK VENEER
	WEATHER BOARD
	TIMBER CLAD
	FIBRE BOARD CLAD
	GALVANISED IRON
	TILED ROOF
	PARAPET ROOF
	COMMERCIAL BUILDING
	SECLUDED PRIVATE OPEN SPACE
	HABITABLE ROOM WINDOW
	NON HABITABLE ROOM WINDOW
	CORRUGATED SHEET ROOF
	CROSS OVER
	VERANDAH
	SHED
	GARAGE
	CARPORT
	OUT BUILDING
	TIMBER PAILING FENCE
	TIMBER FENCE
	BRICK FENCE
	UNFENCED
	METAL FENCE
	LIGHT POLE
	ELECTRICITY POLE
	ELEC. POLE WITH LIGHT
	TRAFFIC LIGHT
	DRAINAGE PIT
	ELECTRICAL CABLE PIT
	TELSTRA PIT
	SEWER PIT

Legend  
1:1

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1	APR 22	APPLICATION SUBMISSION			
2	JUL 22	RFI SUBMISSION			



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Site Analysis

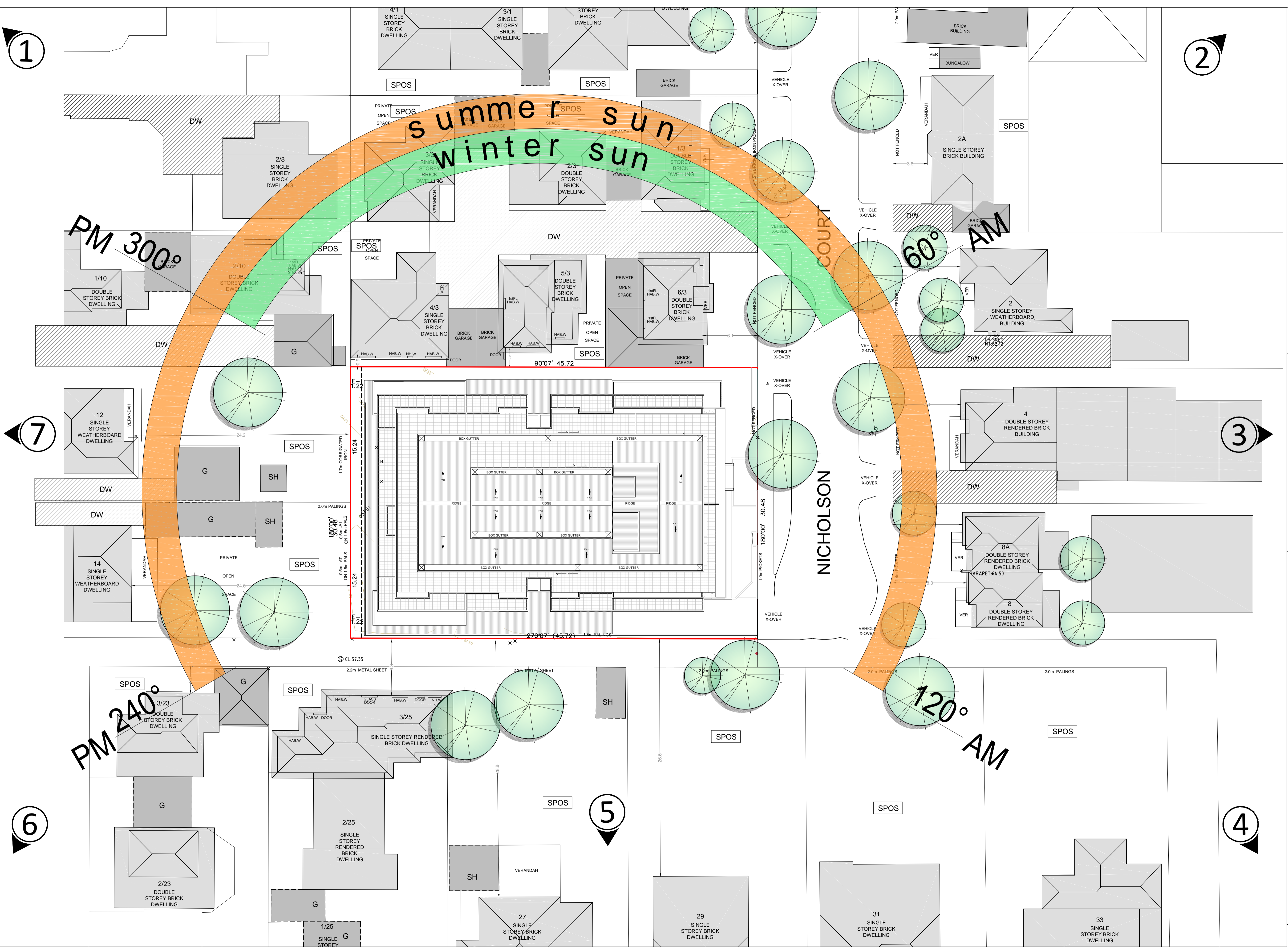
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SCALE:  
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AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
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REV:  
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- ① 0.2km MEADE RESERVE  
1.8km HUNTINGDALE PRIMARY SCHOOL  
2.3km HUNTINGDALE TRAIN STATION  
5.0km CHADSTONE SHOPPING CENTER
- ② 1.4km CLAYTON NORTH PRIMARY SCHOOL  
0.5km MONASH CHILDRENS HOSPITAL  
1.8km WAVERLEY PRIVATE HOSPITAL
- ③ 0.2km CLAYTON TRAIN STATION  
0.3km ST PETERS PRIMARY SCHOOL  
2.3km SPRINGVALE HOME MAKER CENTRE  
2.4km MONASH TECH COLLEGE
- ④ 0.2km CLAYTON SHOPPING CENTRE  
3km SANDOWN RACEWAY  
10km DANERONG HOSPITAL
- ⑤ 0.3km CLAYTON KINDERGARDEN  
1.1km NAMATAIRA PARK  
2.0km CLARINDA SHOPPING VILLAGE
- ⑥ 4.2km VICROADS  
3.5km KARKAROOK PARK  
6KM SOUTHLAND SHOPPING VILLAGE
- ⑦ 5km MCKINNON SECONDARY COLLEGE  
8km SOUTHLAND SHOPPING VILLAGE  
5km BENTLEIGH SECONDARY COLLEGE

**LEGEND:**

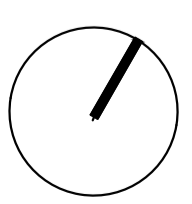
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	DRIVEWAY
	SINGLE STOREY BUILDING
	DOUBLE STOREY BUILDING
	TRIPLE STOREY BUILDING
	BRICK VENEER
	WEATHER BOARD
	TIMBER CLAD
	FIBRE BOARD CLAD
	GALVANISED IRON
	TILED ROOF
	PARAPET ROOF
	COMMERCIAL BUILDING
	SECLUDED PRIVATE OPEN SPACE
	HABITABLE ROOM WINDOW
	NON HABITABLE ROOM WINDOW
	CORRUGATED SHEET ROOF
	CROSS OVER
	VERANDAH
	SHED
	GARAGE
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	OUT BUILDING
	TIMBER PAILING FENCE
	TIMBER FENCE
	BRICK FENCE
	UNFENCED
	METAL FENCE
	LIGHT POLE
	ELECTRICITY POLE
	ELEC. POLE WITH LIGHT
	TRAFFIC LIGHT
	DRAINAGE PIT
	ELECTRICAL CABLE PIT
	TELSTRA PIT
	SEWER PIT

Legend  
1:1

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No.	DATE	AMENDMENT	No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION			
2	JUL 22	RFI SUBMISSION			



PROJECT:  
7-9 Nicholson Cr Clayton

ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Design Response

JOB NO:  
2203

SCALES:  
1 : 200

AUTHOR:  
PP

DATE:  
21-07-22

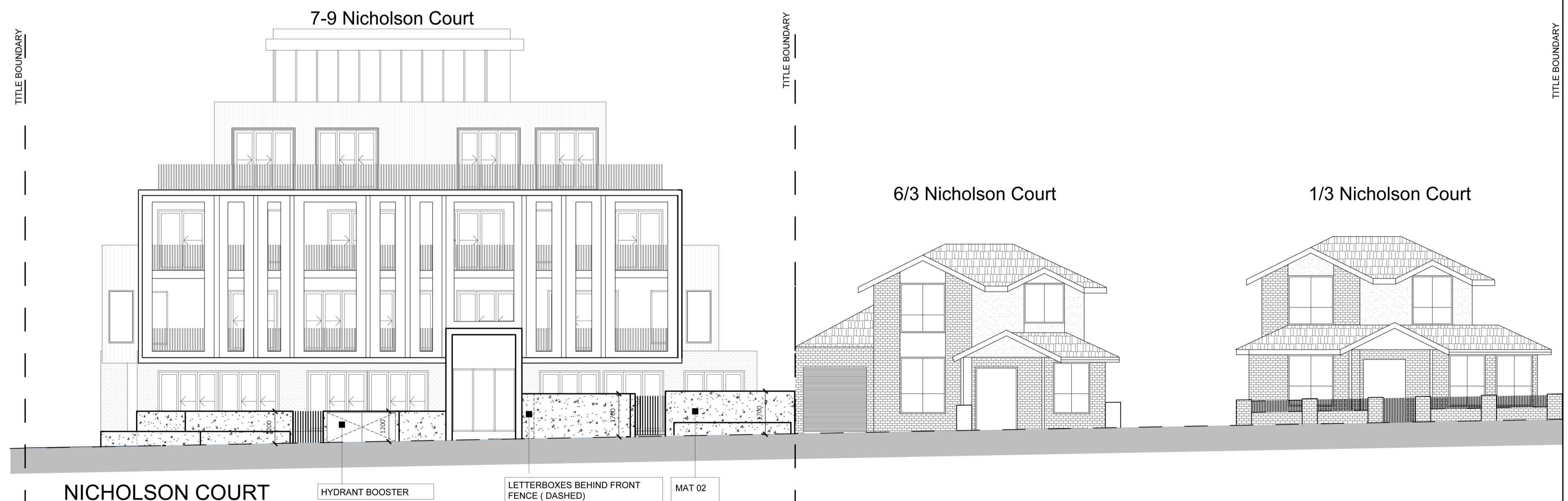
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REV:  
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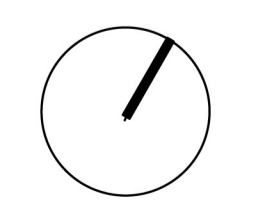


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1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
 7-9 Nicholson Cr Clayton  
 ADDRESS:  
 7-9 Nicholson Cr Clayton

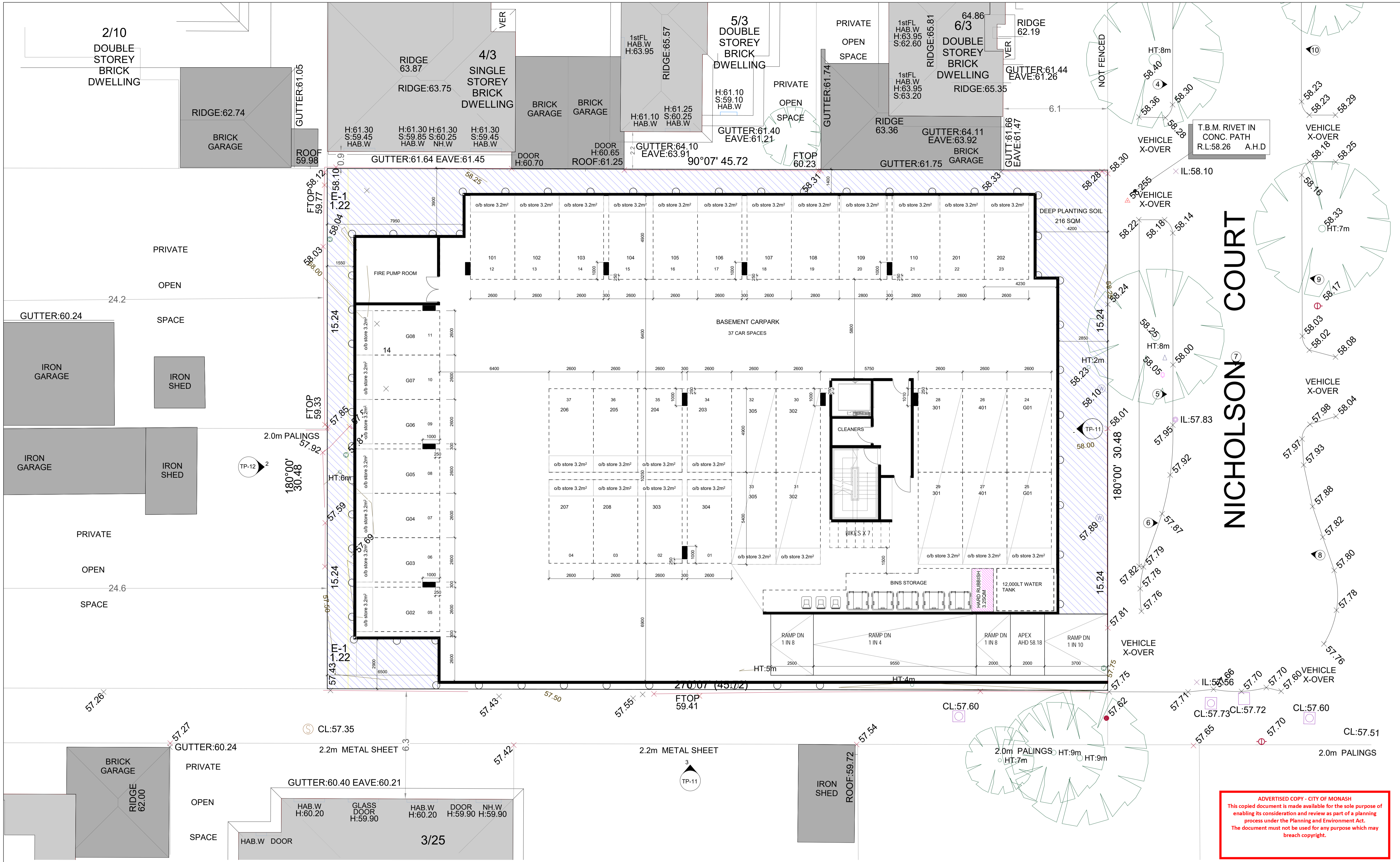
DRAWING:  
 Design Response  
 Streetscape Elevation  
 3D Perspective

JOB NO:  
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 SCALES:  
 1 : 200

AUTHOR:  
 PP  
 DATE:  
 21-07-22

DRAWING NO:  
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 A1 size sheet:  
 REV:  
**2**





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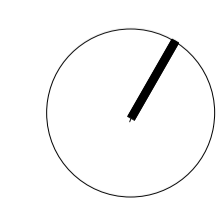
1 | Basement  
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2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Basement Plan

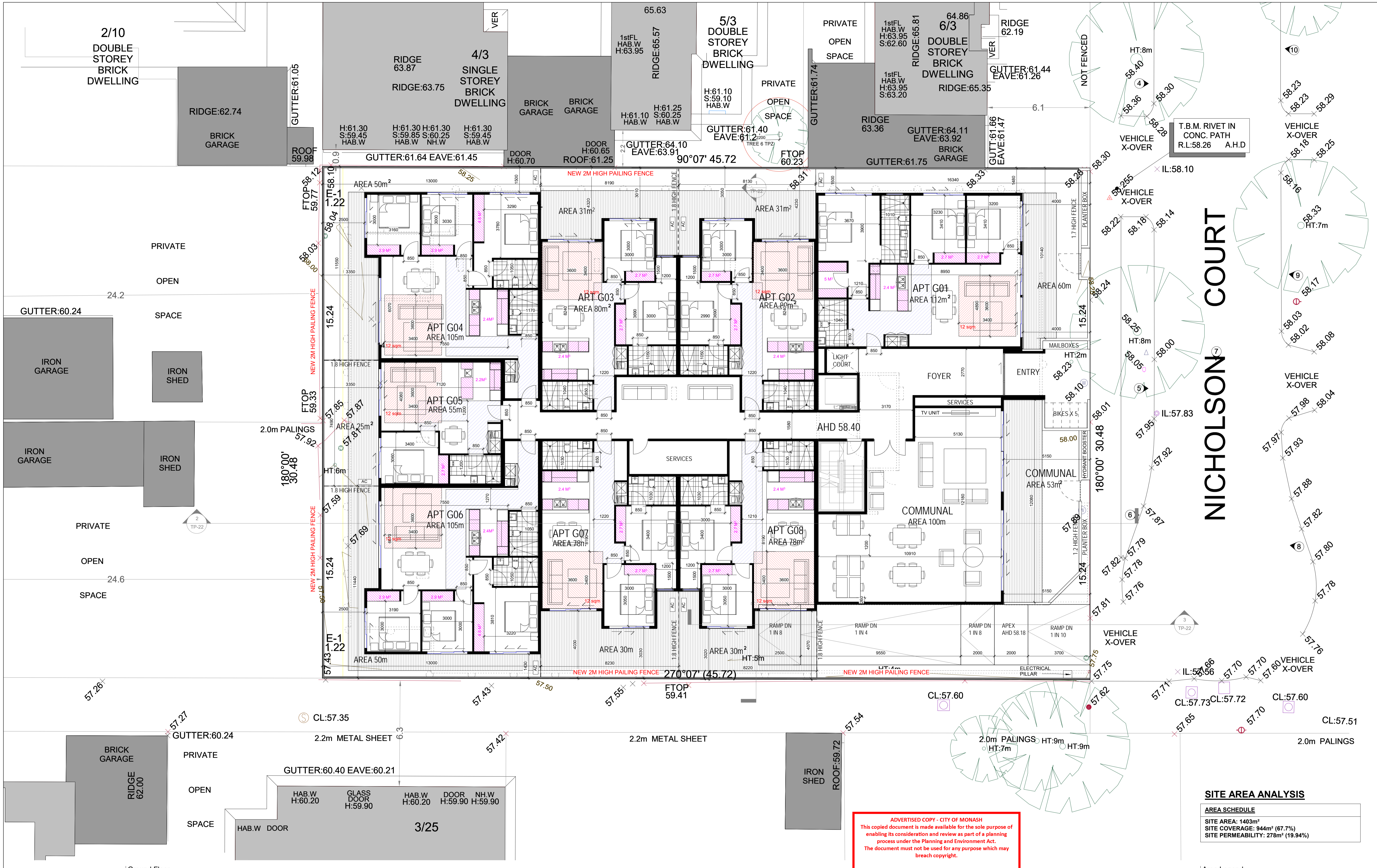
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SCALES:  
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AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
**TP-04**  
A1 size sheet:

REV:  
**2**





# NICHOLSON COURT

**SITE AREA ANALYSIS**

AREA SCHEDULE	
SITE AREA:	1403m <sup>2</sup>
SITE COVERAGE:	944m <sup>2</sup> (67.7%)
SITE PERMEABILITY:	278m <sup>2</sup> (19.94%)

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Area Legend  
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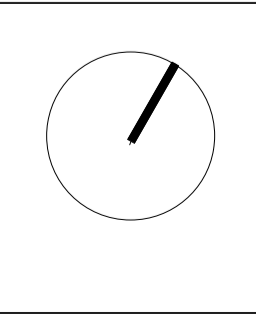
1 Ground Floor  
1:100

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1	APR 22	APPLICATION SUBMISSION
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No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton

ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Ground Floor Plan

JOB NO:  
2203

SCALES:  
As indicated

AUTHOR:  
PP

DATE:  
21-07-22

DRAWING NO:  
**TP-05**

REV:  
**2**

A1 size sheet:





# NICHOLSON COURT

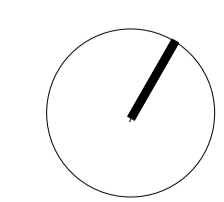
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1 First Floor  
1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
First Floor Plan

JOB NO:  
2203  
SCALES:  
1:100

AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
**TP-06**  
A1 size sheet:

REV:  
**2**



RIDGE:64.53



# NICHOLSON COURT

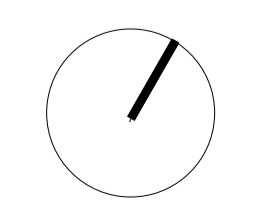
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1 Second Floor  
1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton

ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Second Floor Plan

JOB NO:  
2203

SCALES:  
1:100

AUTHOR:  
PP

DATE:  
21-07-22

DRAWING NO:  
**TP-07**

A1 size sheet:

REV:  
**2**



RIDGE:64.53



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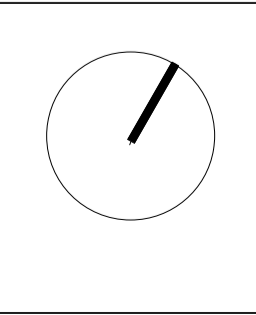
1 Third Floor  
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No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton

ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Third Floor Plan

JOB NO:  
2203

SCALES:  
1:100

AUTHOR:  
PP

DATE:  
21-07-22

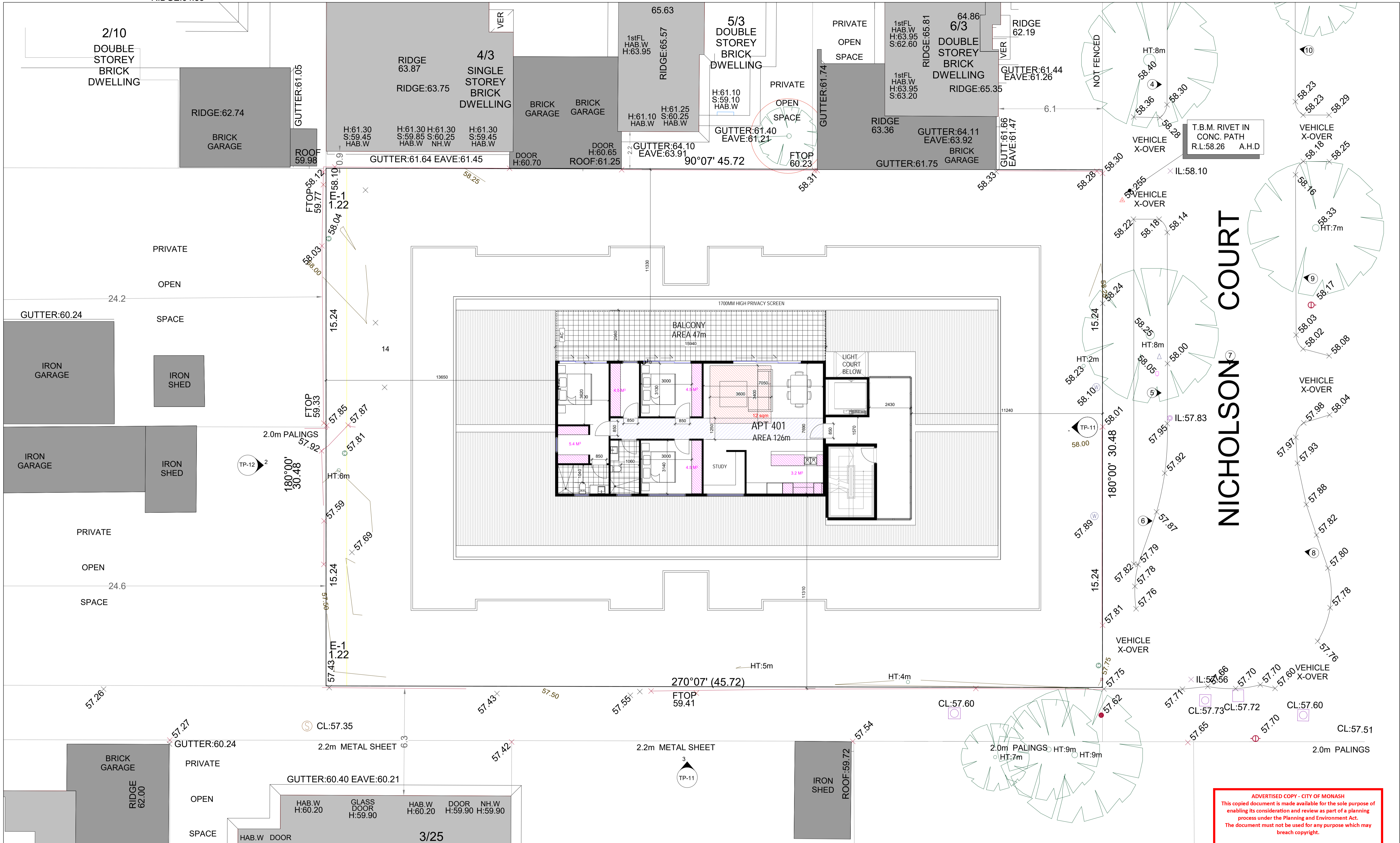
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REV:  
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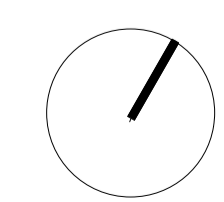


1 Fourth Floor  
1:100

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2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Fourth Flor Plan

JOB NO:  
2203  
SCALES:  
1:100

AUTHOR:  
PP  
DATE:  
21-07-22

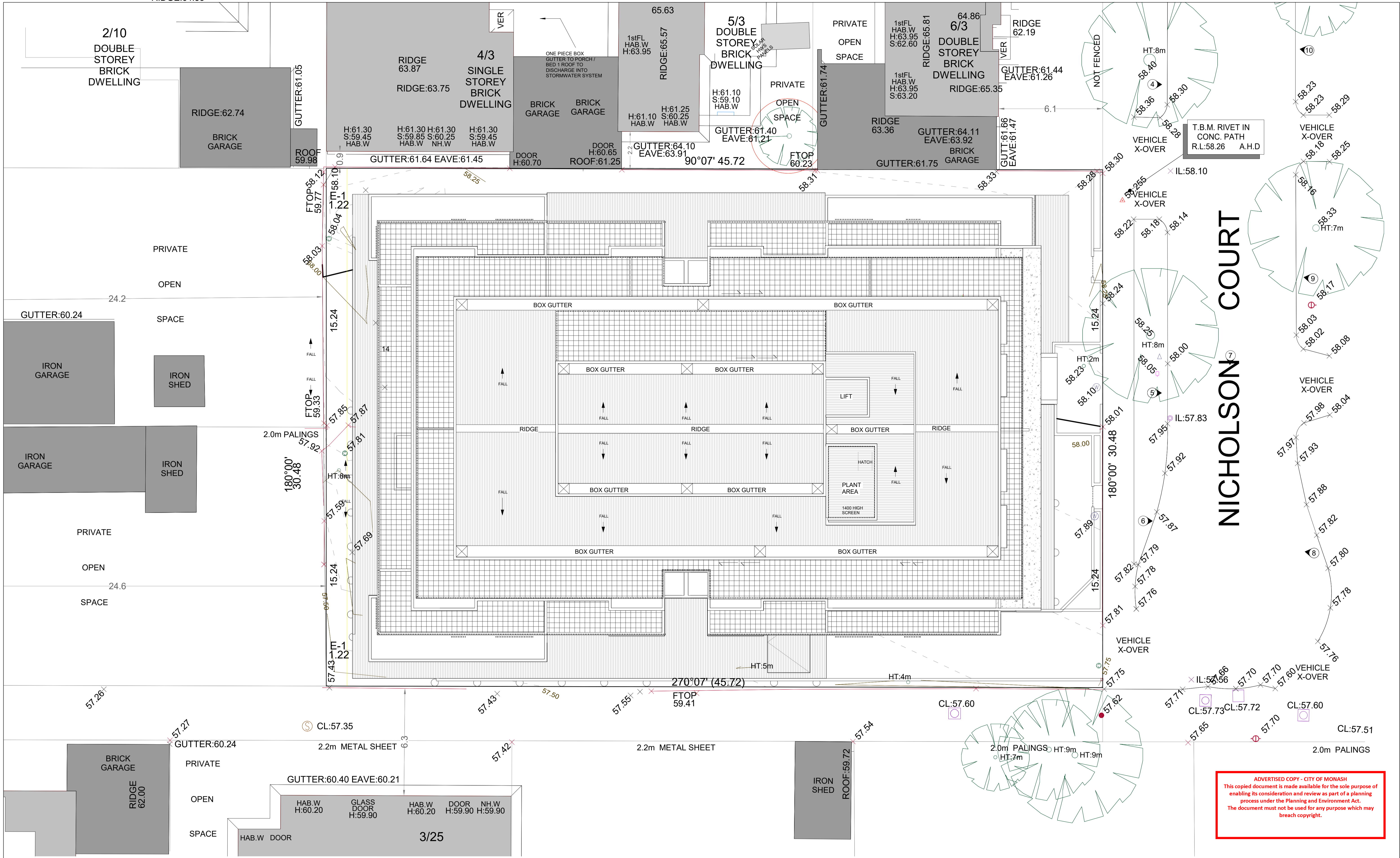
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**TP-09**  
A1 size sheet:

REV:  
**2**

**PITARD GROUP**



RIDGE:64.53



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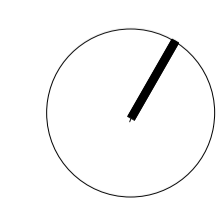
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1 Roof Plan  
1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
 ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Roof Plan

JOB NO:  
2203  
 SCALES:  
1:100

AUTHOR:  
PP  
 DATE:  
21-07-22

DRAWING NO:  
**TP-10**  
 A1 size sheet:

REV:  
**2**



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**MAT -01**  
 WHITE SMOOTH RENDER FINISH



**MAT -02**  
 CONCRETE TEXTURED FINISH - NATURAL CONCRETE RENDER



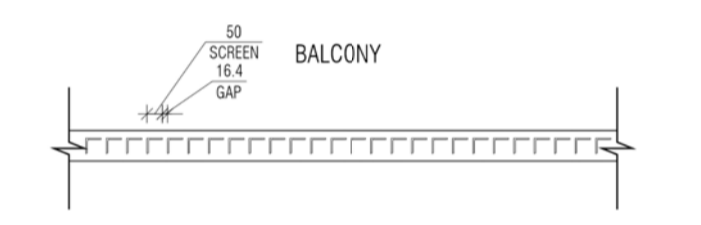
**MAT -03**  
 FACE BRICK IN SELECTED COLOUR



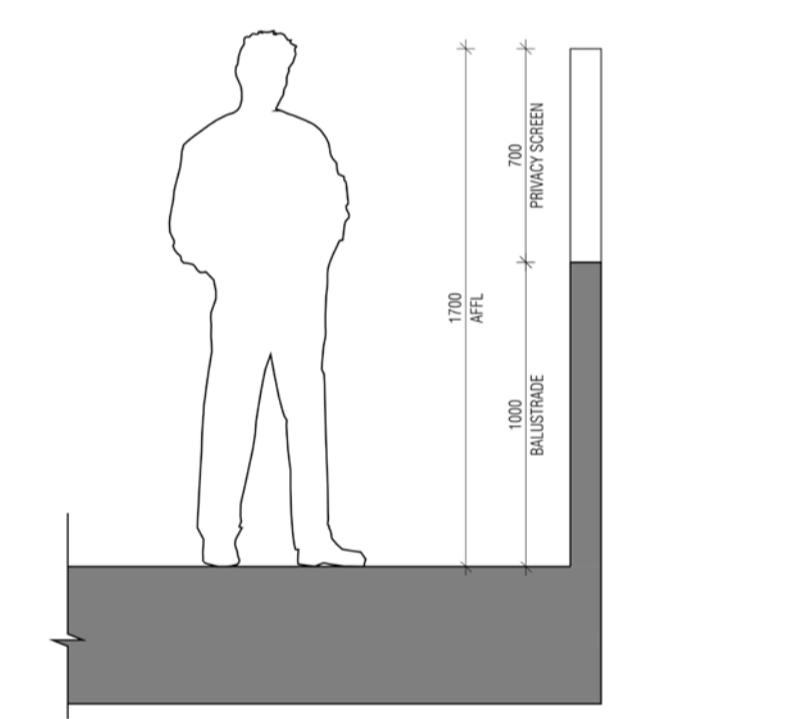
**MAT -04**  
 C/B VERTICAL CLADDING MONUMENT



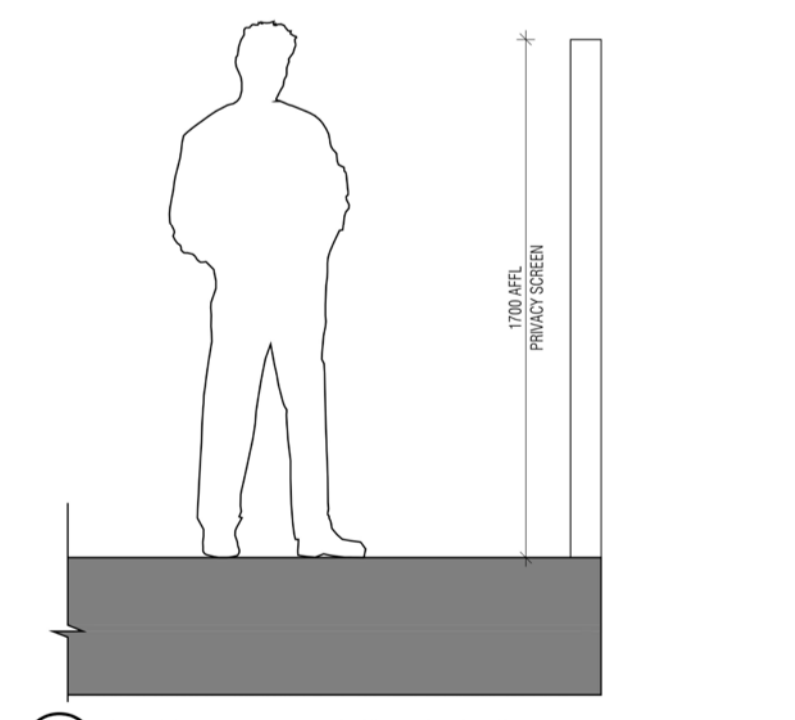
**MAT -05**  
 BLACK METAL BALUSTRADE



03 PLAN - VERTICAL PRIVACY SCREEN



04 SECTION - VERTICAL PRIVACY SCREEN ON BALUSTRADE



05 SECTION - VERTICAL PRIVACY SCREEN

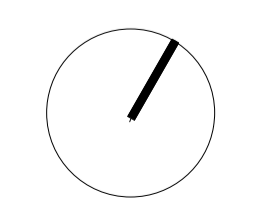


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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
 7-9 Nicholson Cr Clayton  
 ADDRESS:  
 7-9 Nicholson Cr Clayton

DRAWING:  
 ELEVATIONS + MATERIAL SCHEDULE

JOB NO:  
 2203  
 SCALES:  
 1 : 100

AUTHOR:  
 PP  
 DATE:  
 21-07-22

DRAWING NO:  
**TP-11**  
 A1 size sheet:

REV:  
**2**



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1 North Elevation  
 1:100



2 West Elevation  
 1:100

**MAT-01**  
WHITE SMOOTH RENDER FINISH

**MAT-02**  
CONCRETE TEXTURED FINISH - NATURAL CONCRETE RENDER

**MAT-03**  
FACE BRICK IN SELECTED COLOUR

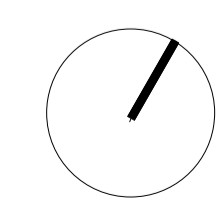
**MAT-04**  
C/B VERTICAL CLADDING MONUMENT

**MAT-05**  
BLACK METAL BALUSTRADE

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
 7-9 Nicholson Cr Clayton  
 ADDRESS:  
 7-9 Nicholson Cr Clayton

DRAWING:  
 ELEVATIONS

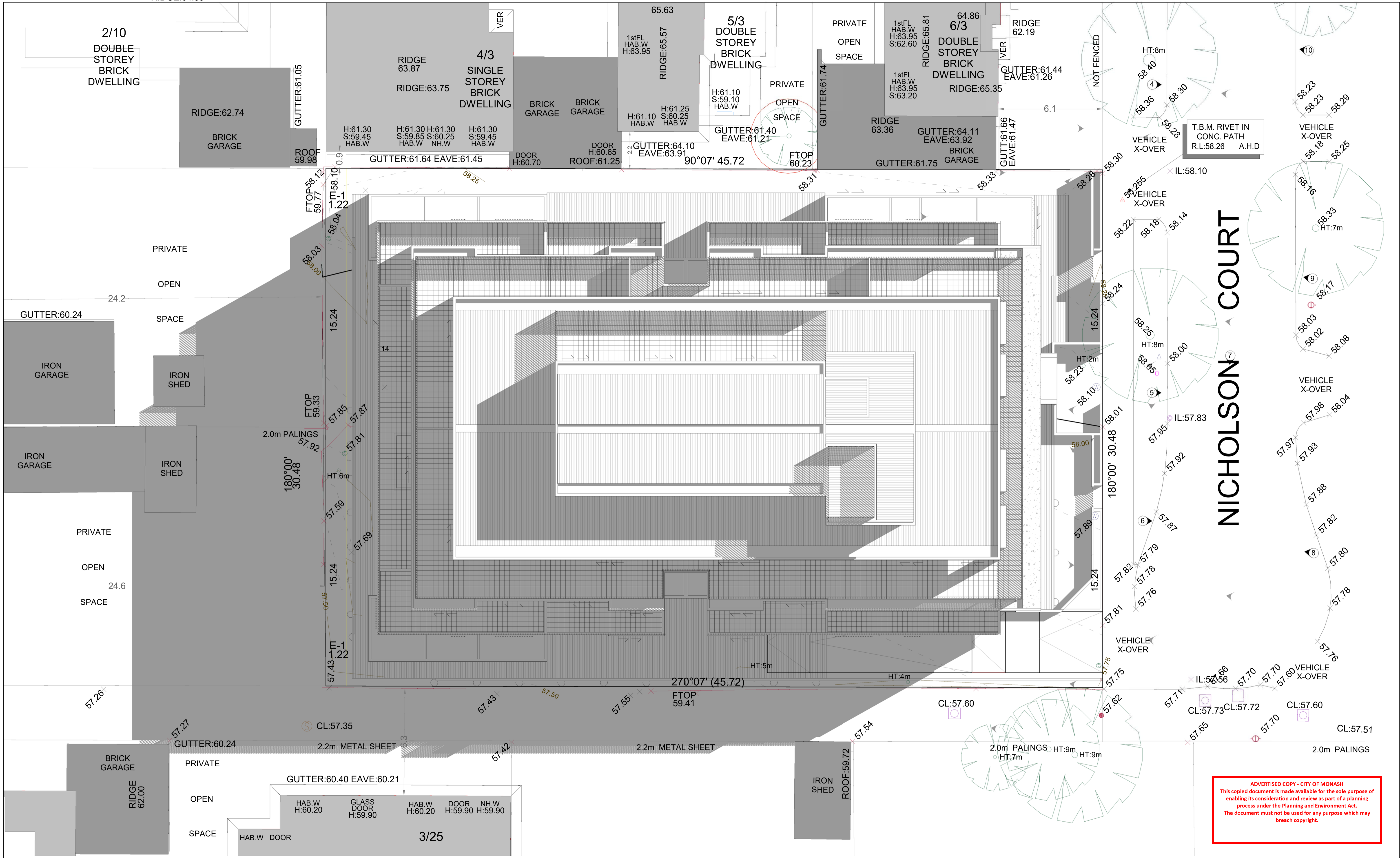
JOB NO:  
 2203  
 SCALES:  
 1 : 100

AUTHOR:  
 PP  
 DATE:  
 21-07-22

DRAWING NO:  
**TP-12**  
 A1 size sheet:

REV:  
**2**



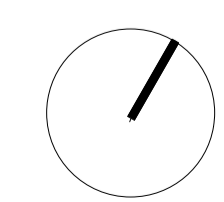


1 Shadow Diagram - 9.00am Sep 21st  
1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
 ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 9.00am Sep 21st

JOB NO:  
2203  
 SCALES:  
1:100

AUTHOR:  
PP  
 DATE:  
21-07-22

DRAWING NO:  
**TP-13**  
 A1 size sheet:

REV:  
**2**

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RIDGE:64.53

2/10  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE:62.74  
BRICK  
GARAGE

RIDGE  
63.87  
RIDGE:63.75

4/3  
SINGLE  
STOREY  
BRICK  
DWELLING

BRICK  
GARAGE

65.63  
1stFL  
HAB.W  
H:63.95

5/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

PRIVATE  
OPEN  
SPACE

64.86  
6/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE  
62.19

GUTTER:61.44  
EAVE:61.26

GUTTER:61.05  
ROOF  
59.98

H:61.30 S:59.45 HAB.W  
H:61.30 S:59.85 HAB.W  
H:61.30 H:61.30 NH.W  
H:61.30 S:59.45 HAB.W

DOOR  
H:60.70  
DOOR  
H:60.65  
ROOF:61.25

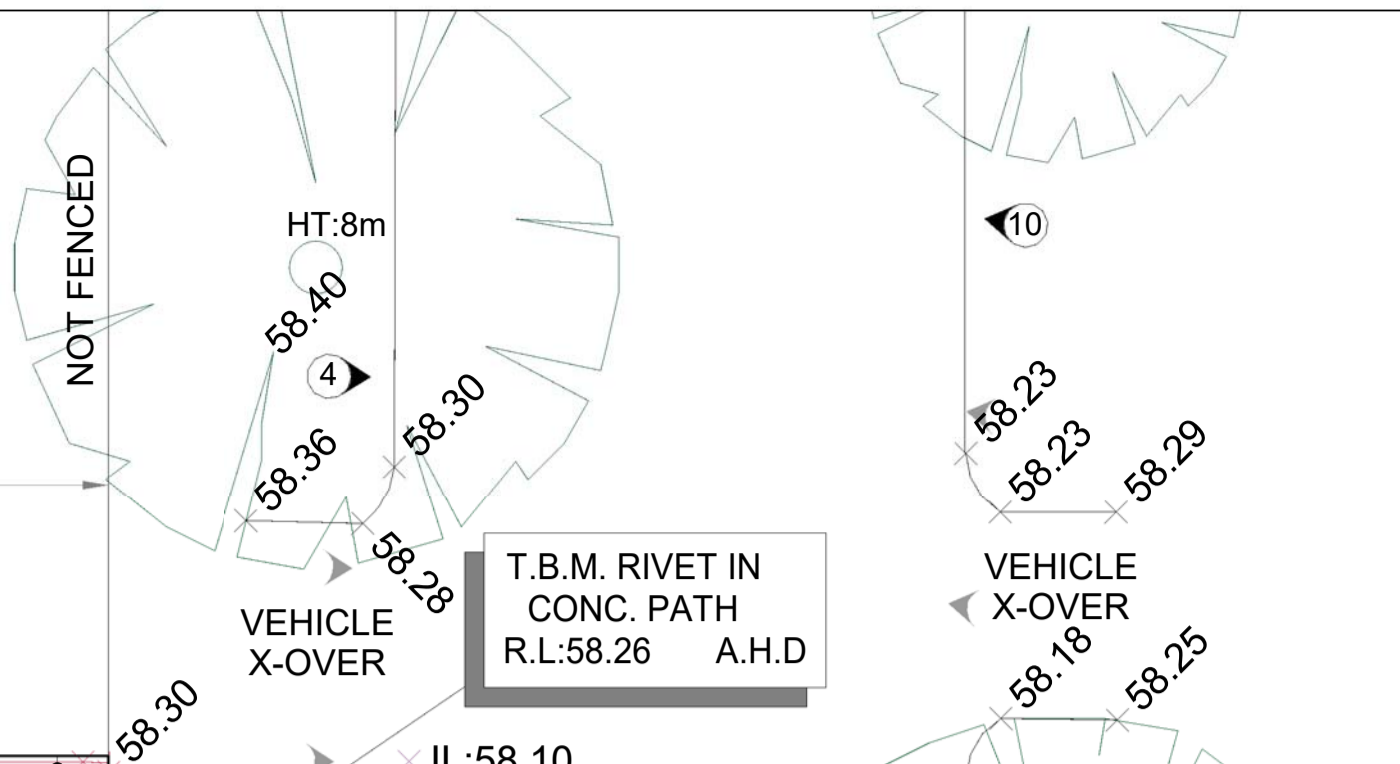
GUTTER:64.10  
EAVE:63.91

GUTTER:61.40  
EAVE:61.21  
FTOP  
60.23

RIDGE  
63.36  
GUTTER:61.75

GUTTER:64.11  
EAVE:63.92  
BRICK  
GARAGE

GUTT:61.66  
EAVE:61.47



PRIVATE  
OPEN  
SPACE

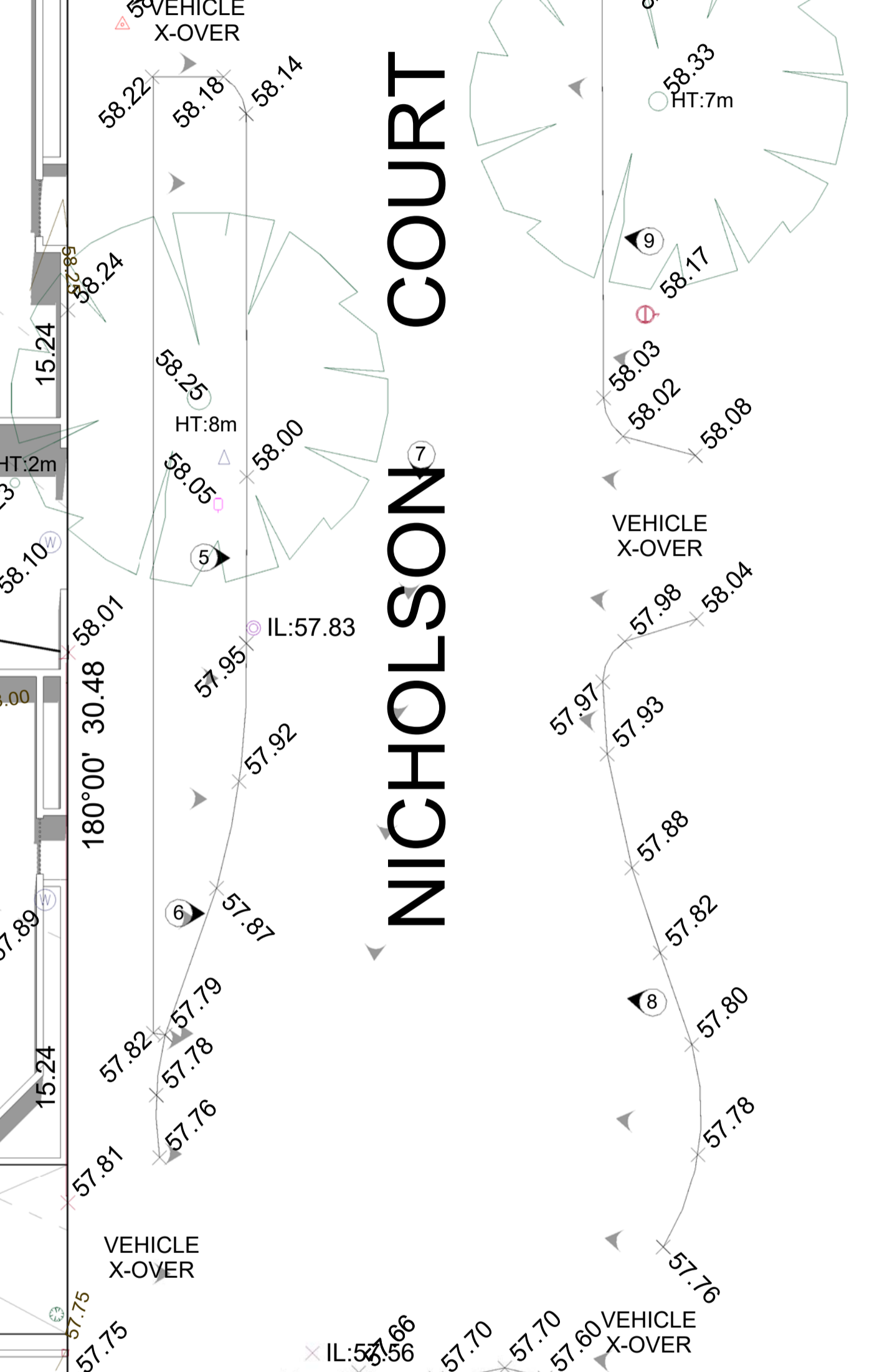
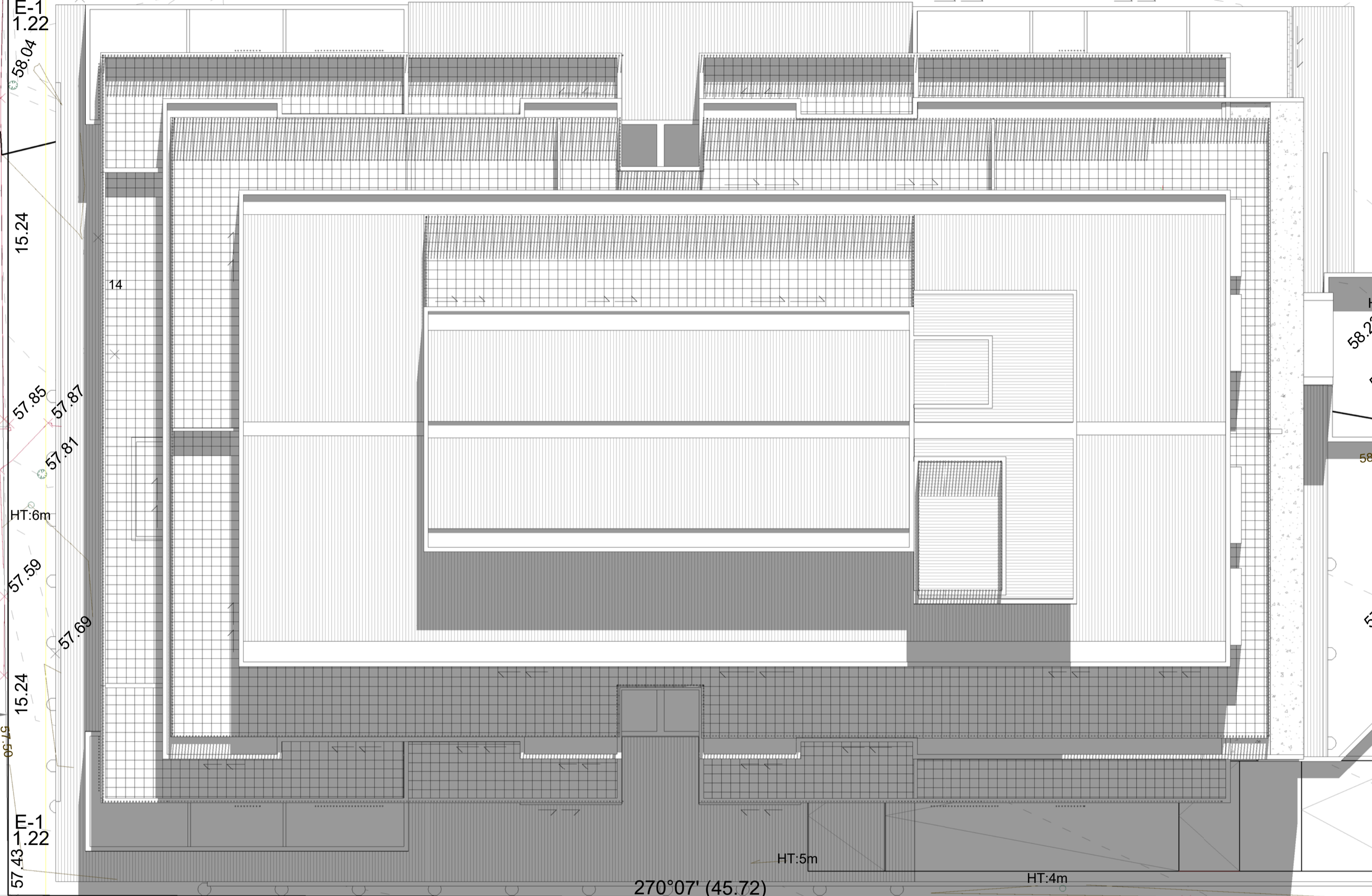
GUTTER:60.24  
IRON  
GARAGE

IRON  
SHED

IRON  
GARAGE  
IRON  
SHED

PRIVATE  
OPEN  
SPACE

2.0m PALINGS  
180°00'  
30.48



NICHOLSON COURT

BRICK  
GARAGE  
RIDGE  
62.00

PRIVATE  
OPEN  
SPACE

GUTTER:60.40 EAVE:60.21  
HAB.W H:60.20  
GLASS  
DOOR  
H:59.90  
HAB.W H:60.20  
DOOR H:59.90  
NH.W H:59.90

3/25

IRON  
SHED  
ROOF:59.72

2.0m PALINGS HT:9m  
HT:7m HT:9m

IL:57.86  
CL:57.73 CL:57.72 CL:57.60  
CL:57.60  
CL:57.51

Shadow Diagram - 12.00pm Sep 21st  
1:100

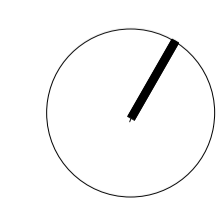
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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 12.00pm Sep 21st

JOB NO:  
2203  
SCALES:  
1:100

AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
TP-14  
A1 size sheet:

REV:  
2



RIDGE:64.53

2/10  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE:62.74  
BRICK  
GARAGE

RIDGE  
63.87  
RIDGE:63.75  
4/3  
SINGLE  
STOREY  
BRICK  
DWELLING

BRICK  
GARAGE

BRICK  
GARAGE

65.63  
1stFL  
HAB.W  
H:63.95

5/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

H:61.10  
S:59.10  
HAB.W

PRIVATE  
OPEN  
SPACE

1stFL  
HAB.W  
H:63.95  
S:62.60

64.86  
6/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE  
62.19

GUTTER:61.44  
EAVE:61.26

1stFL  
HAB.W  
H:63.95  
S:63.20

RIDGE  
63.36

GUTTER:64.11  
EAVE:63.92

GUTT:61.66  
EAVE:61.47

H:61.30  
S:59.45  
HAB.W

H:61.30  
S:59.85  
HAB.W

H:61.30  
S:60.25  
NH.W

H:61.30  
S:59.45  
HAB.W

H:61.10  
S:60.25  
HAB.W

GUTTER:64.10  
EAVE:63.91

GUTTER:61.40  
EAVE:61.21

F<sub>TOP</sub>  
60.23

GUTTER:61.75

HT:8m  
58.40  
58.36  
58.30

NOT FENCED

VEHICLE  
X-OVER

T.B.M. RIVET IN  
CONC. PATH  
R.L.:58.26 A.H.D

VEHICLE  
X-OVER

58.23  
58.23  
58.29

PRIVATE  
OPEN  
SPACE

GUTTER:60.24

IRON  
GARAGE

IRON  
SHED

IRON  
GARAGE

IRON  
SHED

PRIVATE  
OPEN  
SPACE

2.0m PALINGS

180°00'  
30.48

HT:8m

HT:6m

F<sub>E</sub>-1  
1.22

CL:57.35

GUTTER:60.24

PRIVATE  
OPEN  
SPACE

GUTTER:60.40 EAVE:60.21

HAB.W  
H:60.20

GLASS  
DOOR  
H:59.90

HAB.W  
H:60.20

DOOR  
H:59.90

NH.W  
H:59.90

HAB.W DOOR

3/25

2.2m METAL SHEET

2.2m METAL SHEET

2.0m PALINGS HT:9m  
HT:7m

2.0m PALINGS

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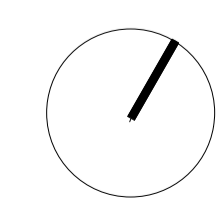
Shadow Diagram - 3.00pm Sep 21st  
1:100

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WORK

No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 3.00pm Sep 21st

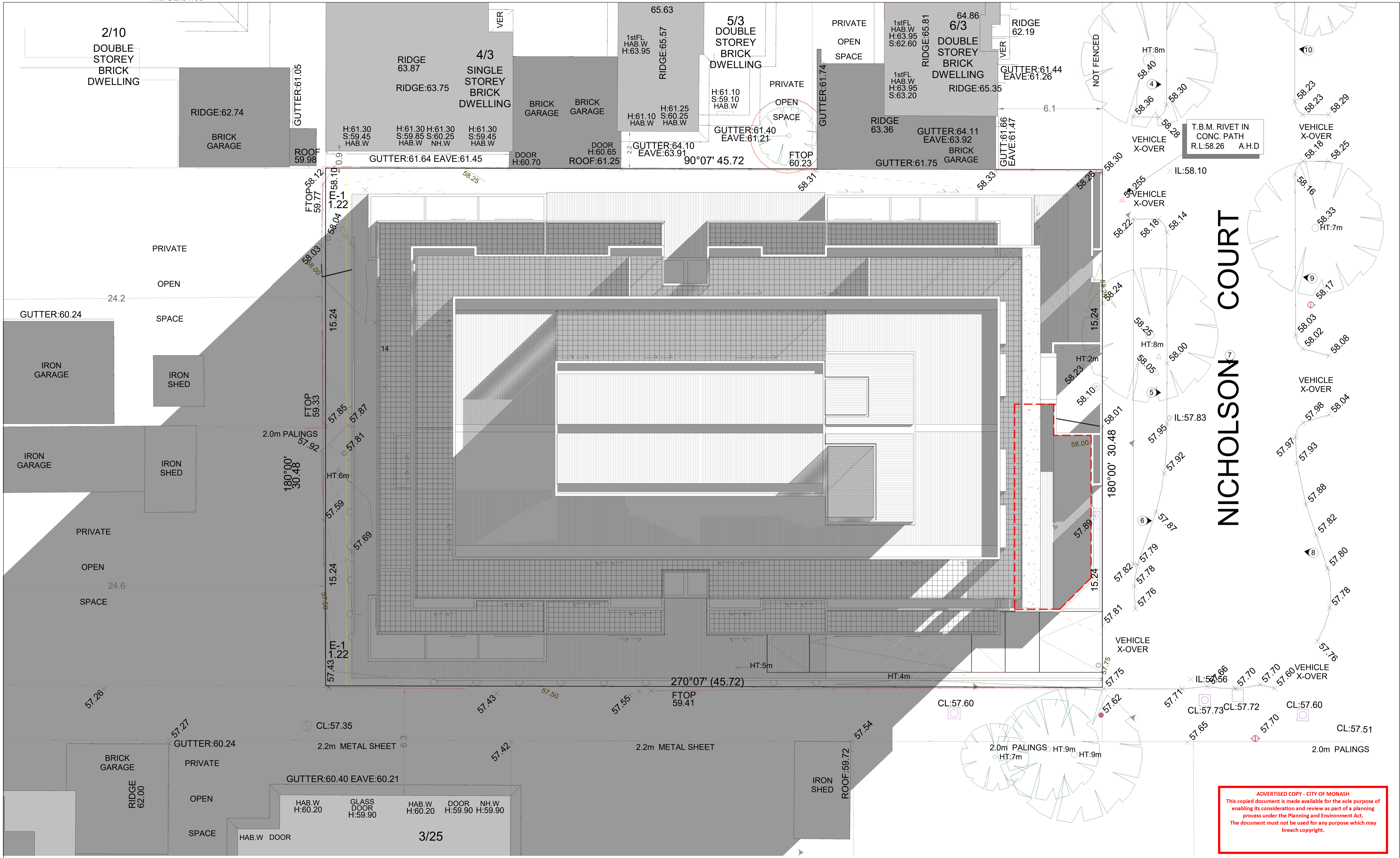
JOB NO:  
2203  
SCALES:  
1 : 100

AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
TP-15  
A1 size sheet:

REV:  
2





# NICHOLSON COURT

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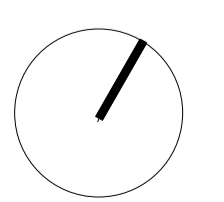
Shadow Diagram - 9.00am June 21st



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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
 ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 9.00am June 21st

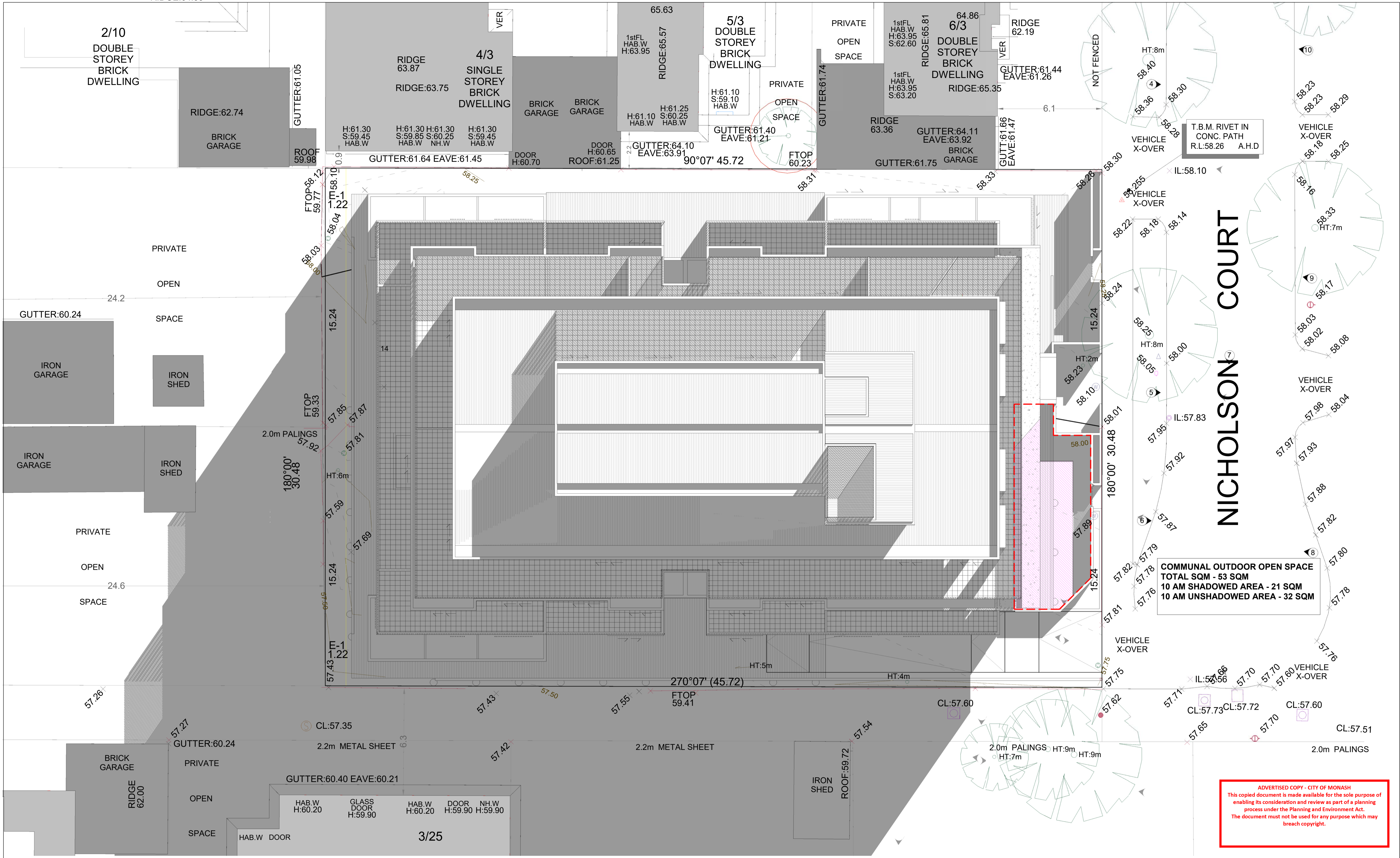
JOB NO:  
2203  
 SCALES:  
1 : 100

AUTHOR:  
PP  
 DATE:  
21-07-22

DRAWING NO:  
**TP-16**  
 A1 size sheet:

REV:  
**2**





# NICHOLSON COURT

**COMMUNAL OUTDOOR OPEN SPACE**  
 TOTAL SQM - 53 SQM  
 10 AM SHADOWED AREA - 21 SQM  
 10 AM UNSHADOWED AREA - 32 SQM

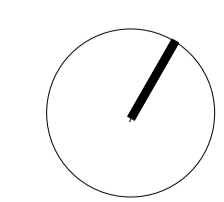
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2 Shadow Diagram - 10.00am June 21st  
1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
 ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 10.00am June 21st

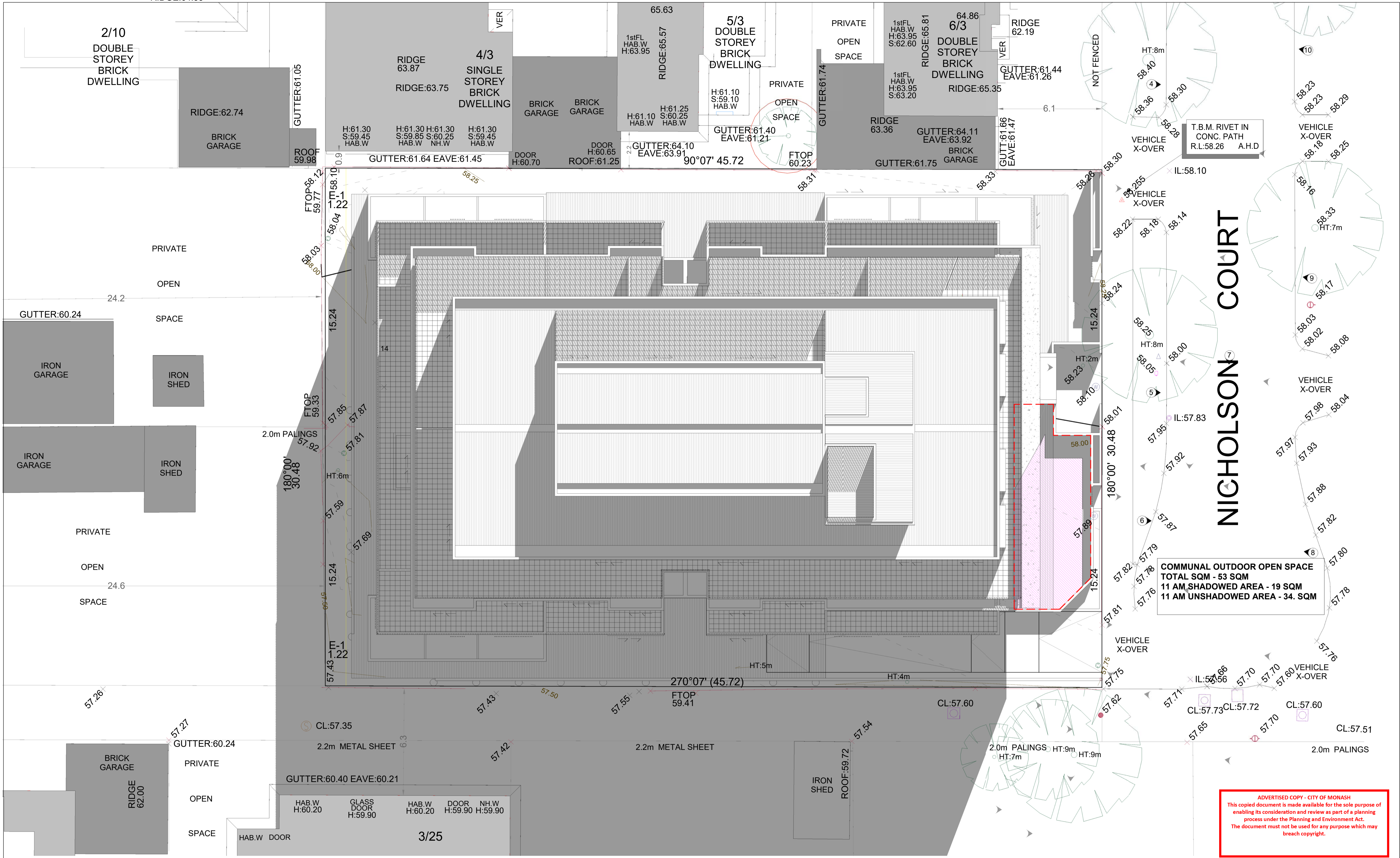
JOB NO:  
2203  
 SCALES:  
1:100

AUTHOR:  
PP  
 DATE:  
21-07-22

DRAWING NO:  
**TP-17**  
 A1 size sheet:

REV:  
**2**





**COMMUNAL OUTDOOR OPEN SPACE**  
 TOTAL SQM - 53 SQM  
 11 AM SHADOWED AREA - 19 SQM  
 11 AM UNSHADOWED AREA - 34. SQM

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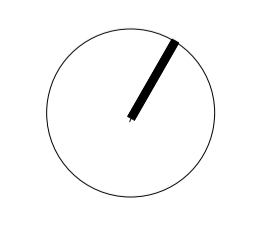
1. Shadow Diagram - 11.00am June 21st  
 1:100

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No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
 7-9 Nicholson Cr Clayton  
 ADDRESS:  
 7-9 Nicholson Cr Clayton

DRAWING:  
 Shadow Diagram - 11.00am June 21st

JOB NO:  
 2203  
 SCALES:  
 1:100

AUTHOR:  
 PP  
 DATE:  
 21-07-22

DRAWING NO:  
**TP-18**  
 A1 size sheet:  
 REV:  
**2**



RIDGE:64.53

2/10  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE:62.74  
BRICK  
GARAGE

RIDGE  
63.87  
RIDGE:63.75

4/3  
SINGLE  
STOREY  
BRICK  
DWELLING

BRICK  
GARAGE  
BRICK  
GARAGE

65.63  
1stFL  
HAB.W  
H:63.95

5/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

PRIVATE  
OPEN  
SPACE

1stFL  
HAB.W  
H:63.95  
S:62.60

64.86  
6/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE  
62.19

GUTTER:61.44  
EAVE:61.26

H:61.30  
S:59.45  
HAB.W  
H:61.30  
S:59.85  
HAB.W  
H:61.30  
S:60.25  
NH.W  
H:61.30  
S:59.45  
HAB.W

H:61.10  
S:59.10  
HAB.W  
H:61.25  
S:60.25  
HAB.W

GUTTER:61.40  
EAVE:61.21

PRIVATE  
OPEN  
SPACE

GUTTER:61.74

RIDGE  
63.36

GUTTER:64.11  
EAVE:63.92

GUTT:61.66  
EAVE:61.47

GUTTER:61.64 EAVE:61.45  
DOOR  
H:60.70  
ROOF:61.25

GUTTER:64.10  
EAVE:63.91

90°07' 45.72

FTOP  
60.23

GUTTER:61.75

GUTTER:61.75

GUTT:61.66  
EAVE:61.47

HT:8m

58.40

58.36

58.30

58.28

T.B.M. RIVET IN  
CONC. PATH  
R.L:58.26 A.H.D

VEHICLE  
X-OVER

IL:58.10

58.30

58.255

58.22

58.18

58.14

58.24

58.25

HT:8m

58.05

58.00

58.25

58.01

180°00' 30.48

58.01

57.95

57.92

57.81

57.82

57.79

57.78

57.76

57.81

57.75

57.75

57.62

57.71

57.65

57.70

57.70

57.60

57.76

57.78

NICHOLSON COURT

COMMUNAL OUTDOOR OPEN SPACE  
TOTAL SQM - 53 SQM  
12 PM SHADOWED AREA - 24 SQM  
12 PM UNSHADOWED AREA - 29 SQM

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GUTTER:60.24

IRON  
GARAGE

IRON  
SHED

IRON  
GARAGE

IRON  
SHED

2.0m PALINGS

180°00'  
30.48

HT:8m

57.85

57.81

57.81

57.59

57.69

57.43

FT  
1.22

57.43

CL:57.35

2.2m METAL SHEET

GUTTER:60.40 EAVE:60.21

HAB.W  
H:60.20

GLASS  
DOOR  
H:59.90

HAB.W  
H:60.20

DOOR  
H:59.90

NH.W  
H:59.90

HAB.W  
DOOR

3/25

270°07' (45.72)

FTOP  
59.41

CL:57.60

57.54

IRON  
SHED

ROOF:59.72

2.0m PALINGS  
HT:7m

HT:9m

HT:9m

VEHICLE  
X-OVER

CL:57.60

CL:57.72

CL:57.60

2.0m PALINGS

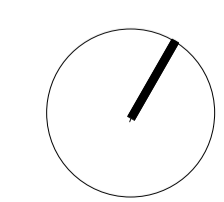
Shadow Diagram - 12.00pm June 21st

PITARD GROUP

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WORK

No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
2	JUL 22	RFI SUBMISSION

No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 12.00pm June 21st

JOB NO:  
2203  
SCALES:  
1 : 100

AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
TP-19  
A1 size sheet:

REV:  
2







RIDGE:64.53

2/10  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE:62.74  
BRICK  
GARAGE

RIDGE  
63.87  
RIDGE:63.75

4/3  
SINGLE  
STOREY  
BRICK  
DWELLING

BRICK  
GARAGE  
BRICK  
GARAGE

65.63  
1stFL  
HAB.W  
H:63.95

5/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

PRIVATE  
OPEN  
SPACE

1stFL  
HAB.W  
H:63.95  
S:62.60

64.86  
6/3  
DOUBLE  
STOREY  
BRICK  
DWELLING

RIDGE  
62.19

GUTTER:61.44  
EAVE:61.26

NOT  
FENCED

HT:8m

58.40

58.36

58.30

58.28

58.23

58.23

58.29

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H:61.30  
S:59.45  
HAB.W

H:61.30  
S:59.85  
HAB.W

H:61.30  
S:60.25  
NH.W

H:61.30  
S:59.45  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.25  
S:60.25  
HAB.W

H:61.10  
S:60.25  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

H:61.10  
S:59.10  
HAB.W

PRIVATE

OPEN

SPACE

GUTTER:60.24

IRON  
GARAGE

IRON  
SHED

IRON  
GARAGE

IRON  
SHED

PRIVATE

OPEN

SPACE

BRICK  
GARAGE  
RIDGE  
62.00

PRIVATE

OPEN

SPACE

HAB.W  
H:60.20

GLASS  
DOOR  
H:59.90

HAB.W  
H:60.20

DOOR  
H:59.90

NH.W  
H:59.90

HAB.W  
DOOR

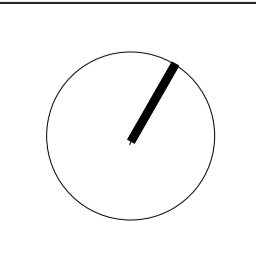
3/25

Shadow Diagram - 3.00pm June 21st  
1:100

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No.	DATE	AMENDMENT



PROJECT:  
7-9 Nicholson Cr Clayton  
ADDRESS:  
7-9 Nicholson Cr Clayton

DRAWING:  
Shadow Diagram - 3.00pm June 21st

JOB NO:  
2203  
SCALES:  
1:100

AUTHOR:  
PP  
DATE:  
21-07-22

DRAWING NO:  
**TP-21**  
A1 size sheet:

REV:  
**2**

NICHOLSON COURT

T.B.M. RIVET IN  
CONC. PATH  
R.L:58.26 A.H.D

VEHICLE  
X-OVER

VEHICLE  
X-OVER

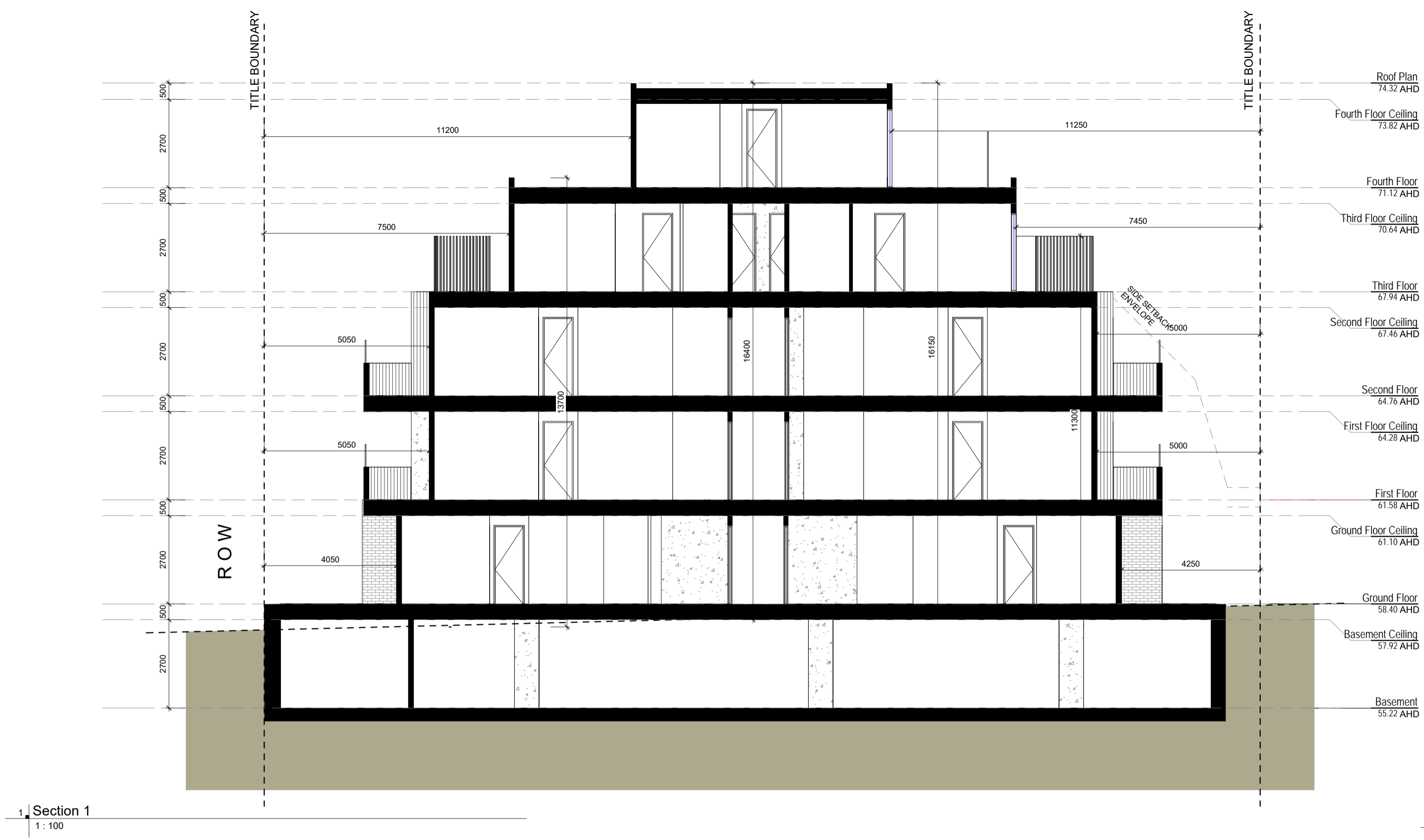
VEHICLE  
X-OVER

VEHICLE  
X-OVER

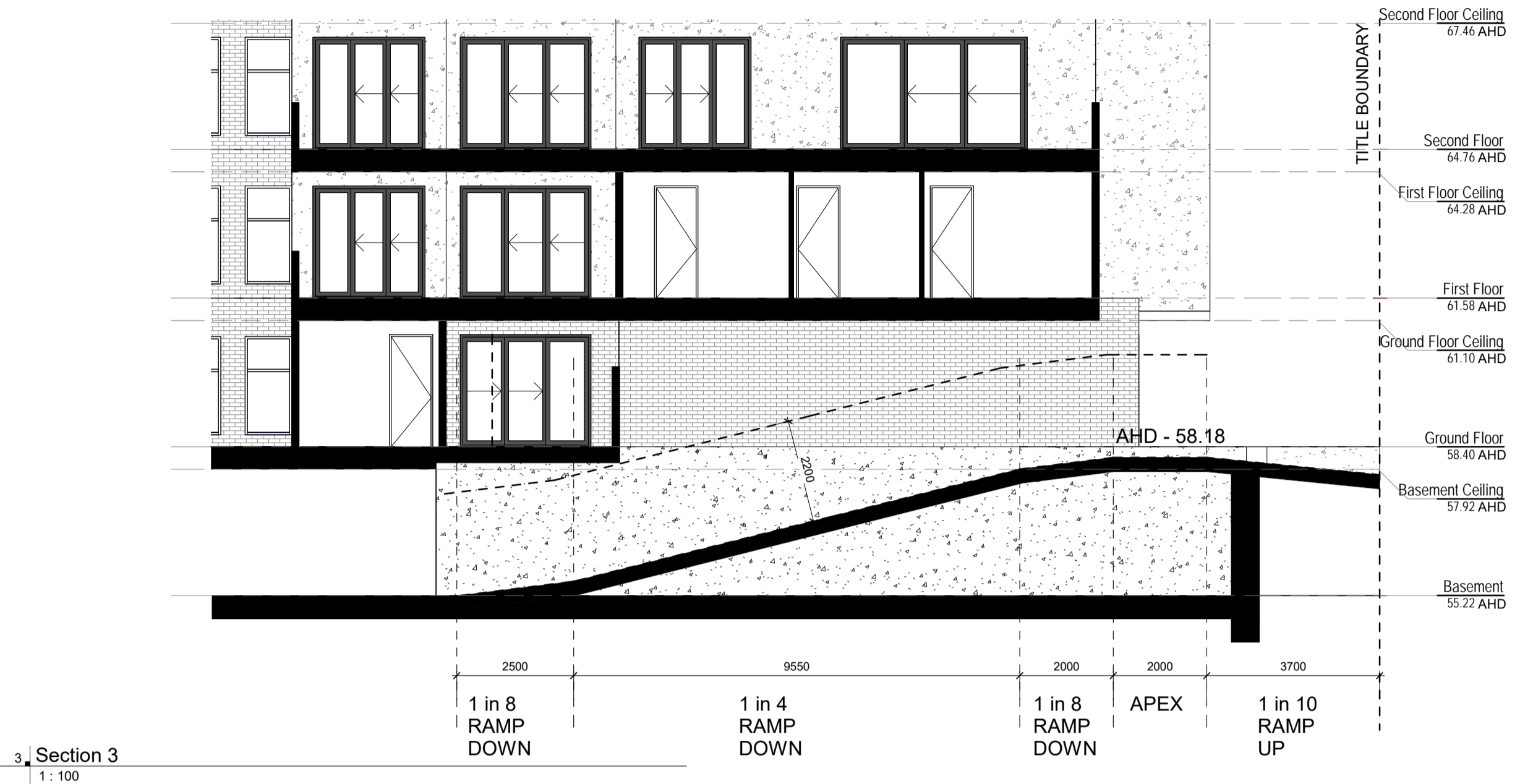
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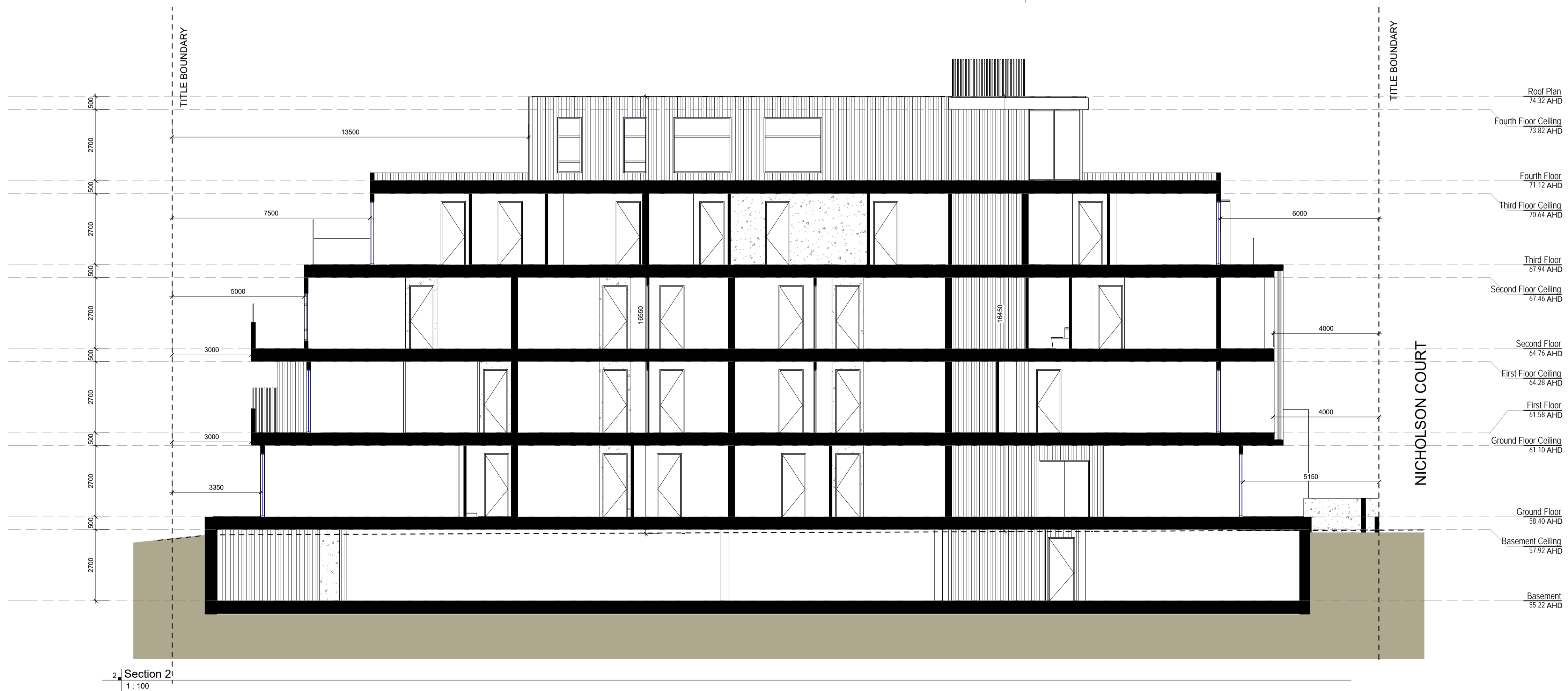
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1 Section 1  
1:100



3 Section 3  
1:100



2 Section 2  
1:100

APARTMENT	INTERNAL STORAGE M3
G01	12.8
G02	7.8
G03	7.8
G04	12.8
G05	4.9
G06	12.8
G07	7.8
G08	7.8
101	12.7
102	8.8
103	8.8
104	9.1
105	4.9
106	9.1
107	9.4
108	9.4
109	8.4
110	4.9
201	8.8
202	8.8
203	8.8
204	9.4
205	9.4
206	8.8
207	8.8
208	8.8
301	12.5
302	8.8
303	8.1
304	8.1
305	10.1
401	22.1

No.	DATE	AMENDMENT
1	APR 22	APPLICATION SUBMISSION
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No.	DATE	AMENDMENT

