

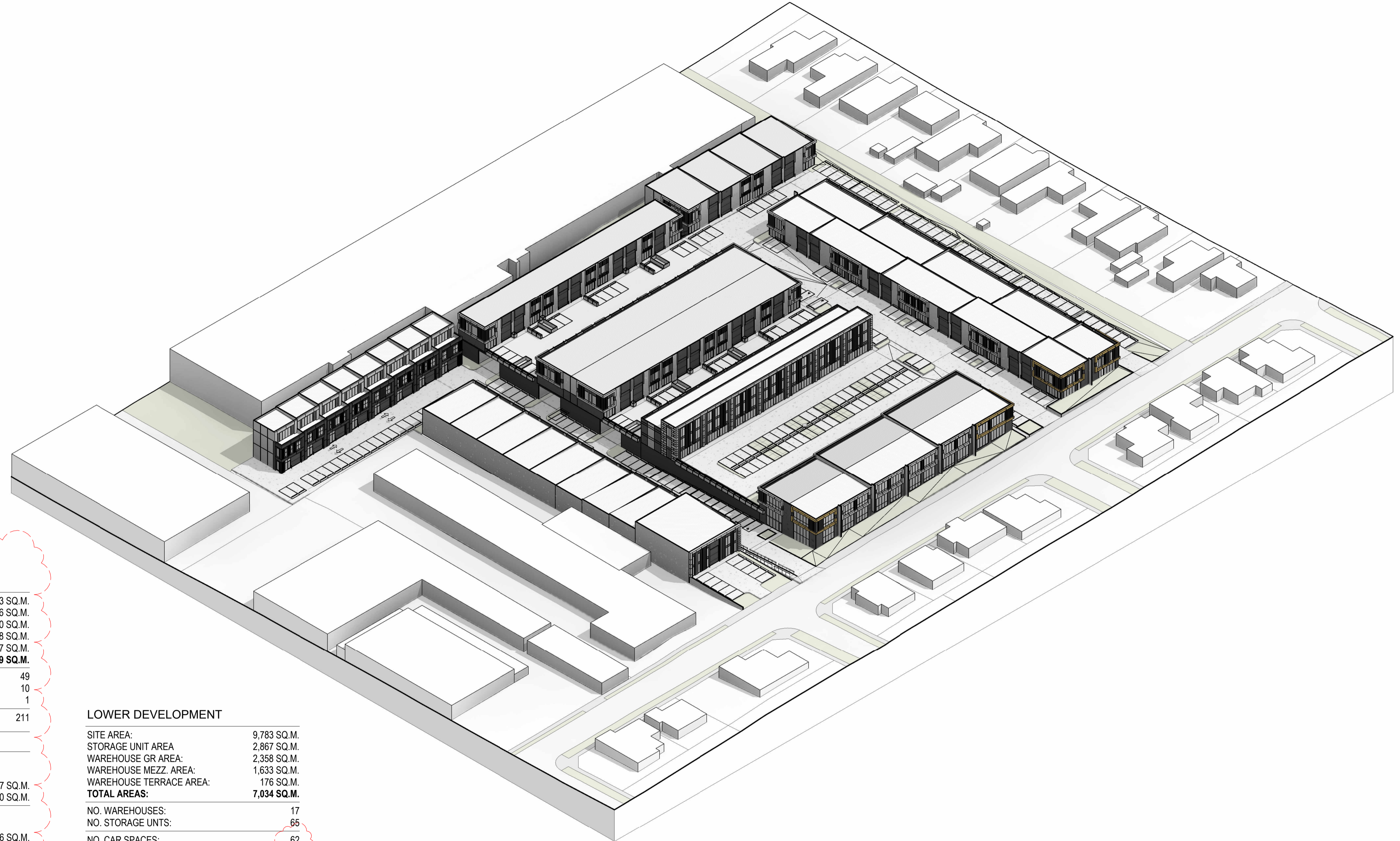


INDUSTRIAL BUSSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST
HUNTINGDALE

DRAWING LIST

TP-00.00	COVER PAGE
TP-00.01	SITE ANALYSIS
TP-00.02	OVERALL DEVELOPMENT PLAN
TP-01.01	ROOF PLAN
TP-01.02	UPPER DEV. GROUND FLOOR PLAN
TP-01.03	UPPER DEV. LEVEL 01 FLOOR PLAN
TP-01.04	UPPER DEV. LEVEL 02 FLOOR PLAN
TP-01.05	LOWER DEV. GROUND FLOOR PLAN
TP-01.06	LOWER DEV. LEVEL 01 FLOOR PLAN
TP-01.07	LOWER DEV. LEVEL 02 FLOOR PLAN
TP-02.01	ELEVATIONS 1
TP-02.02	ELEVATIONS 2
TP-02.03	ELEVATIONS 3
TP-02.04	ELEVATIONS 4
TP-02.05	ELEVATIONS 5



DEVELOPMENT SUMMARY

TOTAL

SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.
NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

UPPER DEVELOPMENT

SITE AREA:	12,343 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
WAREHOUSE GR AREA:	5,968 SQ.M.
WAREHOUSE MEZZ. AREA:	2,027 SQ.M.
TOTAL AREAS:	10,769 SQ.M.
NO. WAREHOUSES:	49
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	211

BLOCK AREAS

BLOCK A

WAREHOUSE AREA:	2127 SQ.M.
OFFICE AREA (L1):	820 SQ.M.

BLOCK B

CAFE AREA(G):	166 SQ.M.
CAFE AREA (L1):	160 SQ.M.
OFFICE AREA (G):	1226 SQ.M.
OFFICE AREA (L1):	1120 SQ.M.

BLOCK C

WAREHOUSE AREA:	860 SQ.M.
OFFICE AREA (L1):	350 SQ.M.
OFFICE AREA (L2):	350 SQ.M.

BLOCK D

WAREHOUSE AREA:	1634 SQ.M.
OFFICE AREA (L1):	205 SQ.M.

BLOCK E

WAREHOUSE AREA:	696 SQ.M.
OFFICE AREA (L1):	200 SQ.M.

BLOCK F

WAREHOUSE AREA:	651 SQ.M.
OFFICE AREA (L1):	102 SQ.M.

LOWER DEVELOPMENT

SITE AREA:	9,783 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	2,358 SQ.M.
WAREHOUSE MEZZ. AREA:	1,633 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	7,034 SQ.M.
NO. WAREHOUSES:	17
NO. STORAGE UNITS:	65
NO. CAR SPACES:	62

BLOCK AREAS

BLOCK G

WAREHOUSE AREA:	1710 SQ.M.
OFFICE AREA (L1):	513 SQ.M.

BLOCK H

WAREHOUSE AREA:	648 SQ.M.
OFFICE AREA (L1):	648 SQ.M.
OFFICE AREA (L2):	472 SQ.M.

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Drawing Name:
COVER PAGE

Project No.:
21188

Date:
DEC 2021

Scale:
A1 =
Sheet / Revision No.:
TP-00.00 - 4

Checked:
MG

Drawn:
FB

RFI RESPONSE	27.06.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

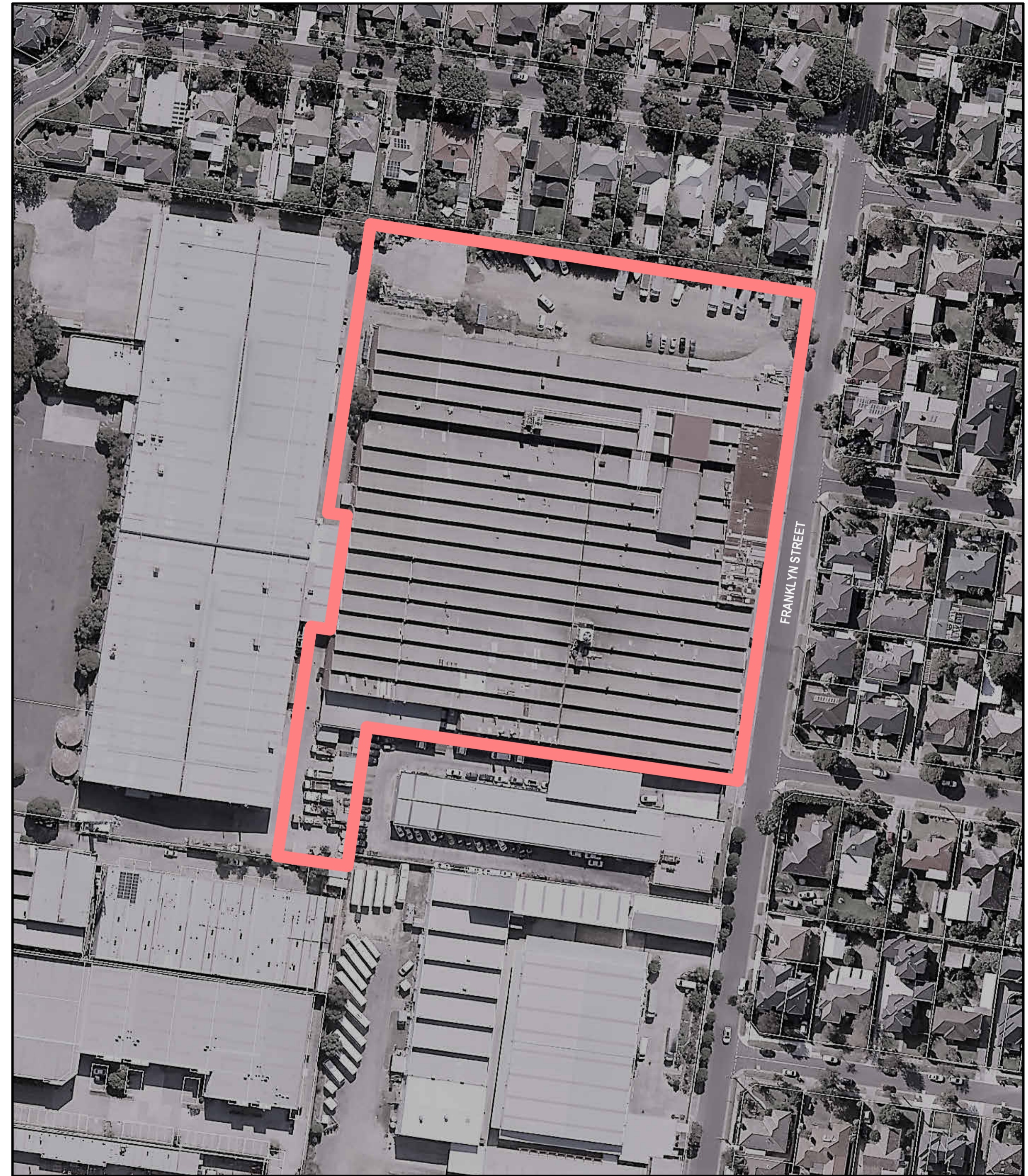
Drawing Issue:
TOWN PLANNING

Suite 18/70-80 Wellington Street Collingwood Victoria 3067
Telephone: 03 9230 1400 E: info@archsign.com.au
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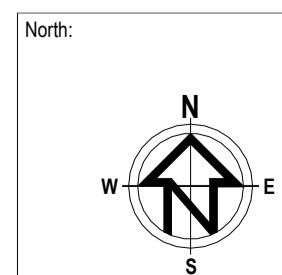
Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT
AT
17-31 FRANKLYN ST HUNTINGDALE



LOCALITY MAP



SITE AERIAL



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Drawing Name:
SITE ANALYSIS

Project No.:
21188

Date: DEC 2021
Scale: A1 =

Sheet / Revision No.:
TP-00.01 - 2

Checked: MG
Drawn: FB

RFI RESPONSE 10.02.22 2
Revision: 10.02.22 2
Rev. No.:

Drawing Issue:
TOWN PLANNING

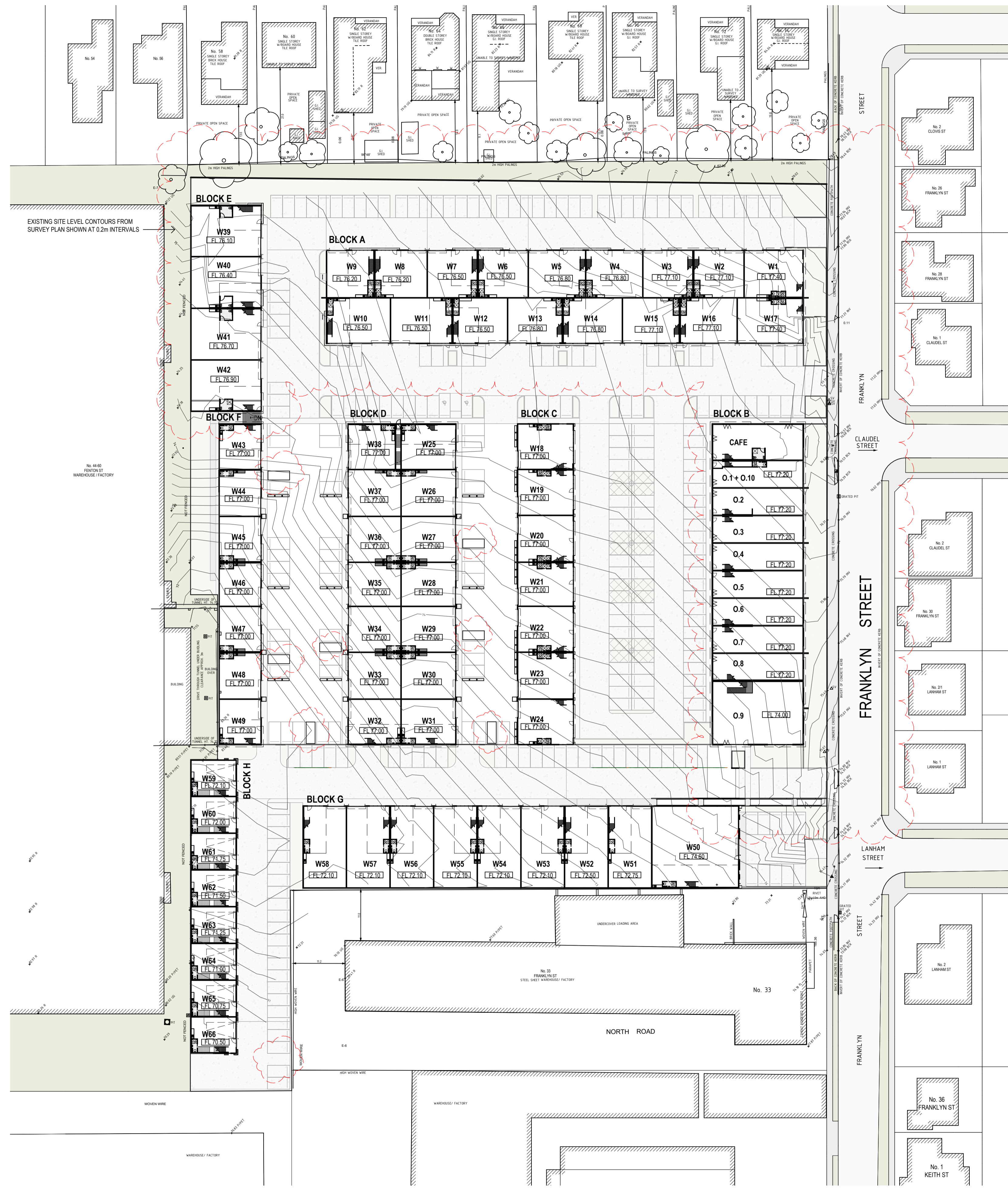
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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST
HUNTINGDALE



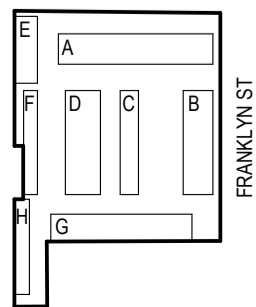
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No. 448 FRENCH ST WAREHOUSE / FACTORY

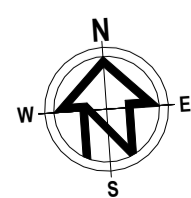
No. 33 FRANKLYN ST STEEL SHEET WAREHOUSE / FACTORY

NORTH ROAD

Key Plan:



North:



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Drawing Name: OVERALL DEVELOPMENT PLAN

Project No.:

21188

Date: DEC 2021

Scale: A1 = 1 : 500

Sheet / Revision No.: TP-00.02 - 4

Checked:

MG

Drawn:

FB

RFI RESPONSE

28.07.22

4

FOR COORDINATION

12.07.22

3

RFI RESPONSE

27.06.22

2

Revision Description:

Revision Date:

Rev. No.:

Drawing Issue:

TOWN PLANNING

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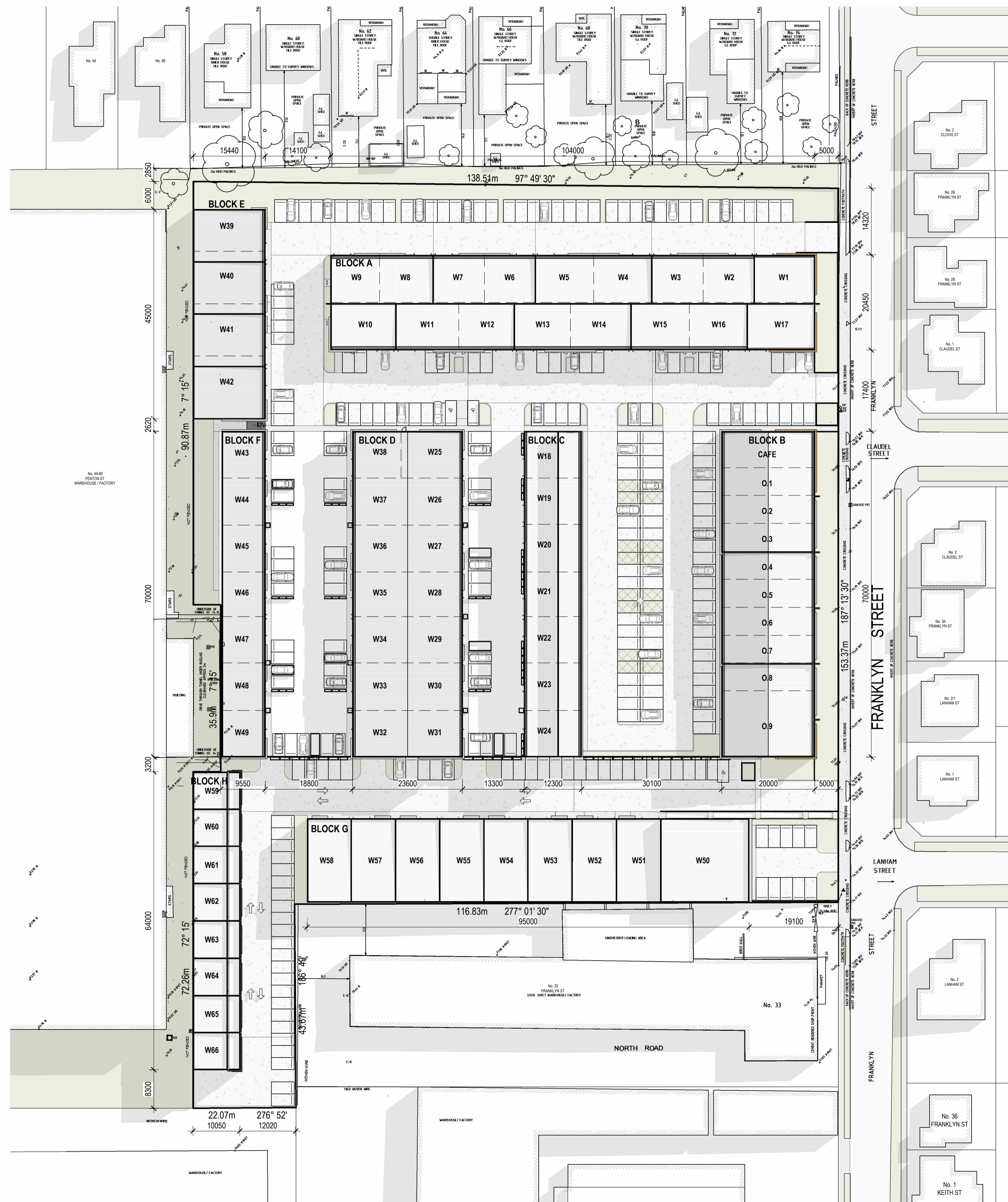
Telephone: 03 9230 1400 E: info@archsign.com.au

www.archsign.com.au



Project: INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT 17-31 FRANKLYN ST HUNTINGDALE



DEVELOPMENT SUMMARY

TOTAL	
SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.
NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

UPPER DEVELOPMENT

SITE AREA:	12,343 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
WAREHOUSE GR AREA:	5,968 SQ.M.
WAREHOUSE MEZZ. AREA:	2,027 SQ.M.
TOTAL AREAS:	10,769 SQ.M.
NO. WAREHOUSES:	49
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	211

BLOCK AREAS

BLOCK A	
WAREHOUSE AREA:	2127 SQ.M.
OFFICE AREA (L1):	820 SQ.M.

BLOCK B	
CAFE AREA(G):	166 SQ.M.
CAFE AREA (L1):	160 SQ.M.
OFFICE AREA (G):	1226 SQ.M.
OFFICE AREA (L1):	1120 SQ.M.

BLOCK C	
WAREHOUSE AREA:	860 SQ.M.
OFFICE AREA (L1):	350 SQ.M.
OFFICE AREA (L2):	350 SQ.M.

BLOCK D	
WAREHOUSE AREA:	1634 SQ.M.
OFFICE AREA (L1):	205 SQ.M.

BLOCK E	
WAREHOUSE AREA:	696 SQ.M.
OFFICE AREA (L1):	200 SQ.M.

BLOCK F	
WAREHOUSE AREA:	651 SQ.M.
OFFICE AREA (L1):	102 SQ.M.

LOWER DEVELOPMENT

SITE AREA:	9,783 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	2,358 SQ.M.
WAREHOUSE MEZZ. AREA:	1,633 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	7,034 SQ.M.

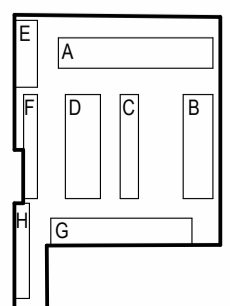
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NO. STORAGE UNITS:	65
NO. CAR SPACES:	62

BLOCK AREAS

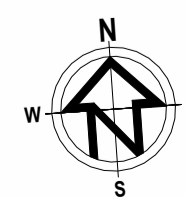
BLOCK G	
WAREHOUSE AREA:	1710 SQ.M.
OFFICE AREA (L1):	513 SQ.M.

BLOCK H	
WAREHOUSE AREA:	648 SQ.M.
OFFICE AREA (L1):	648 SQ.M.
OFFICE AREA (L2):	472 SQ.M.

Key Plan:



North:



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Drawing Name:
ROOF PLAN

Project No.:

21188

Date:
DEC 2021

Scale:
A1 = 1 : 500

Sheet / Revision No.:
TP-01.01 - 5

Checked:

MG

Drawn:

FB

RFI RESPONSE	29.07.22	5
RFI RESPONSE	28.07.22	4
RFI RESPONSE	27.06.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

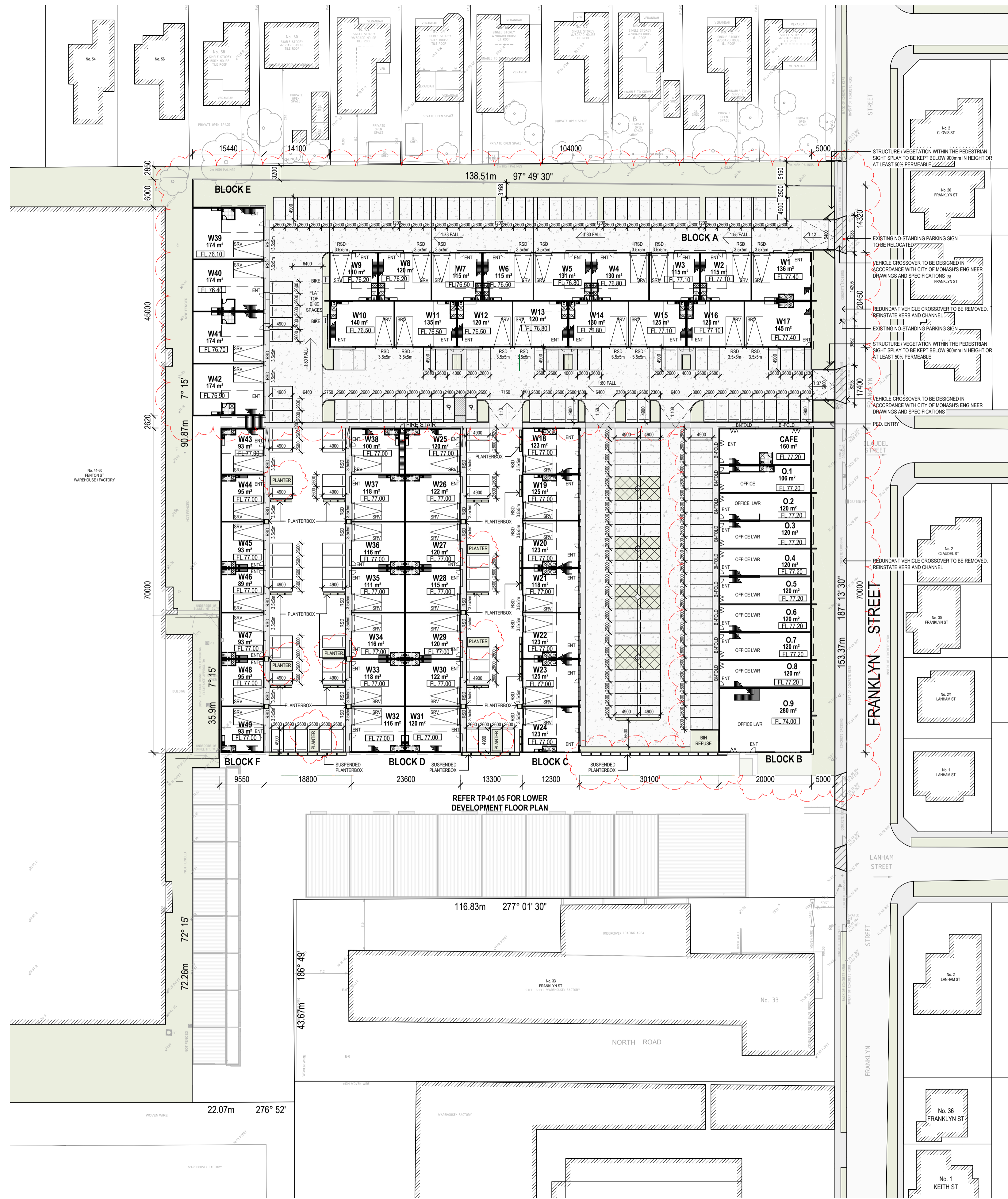
Drawing Issue:
TOWN PLANNING

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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST
HUNTINGDALE



DEVELOPMENT SUMMARY

UPPER DEVELOPMENT

SITE AREA:	12,343 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
WAREHOUSE GR AREA:	5,968 SQ.M.
WAREHOUSE MEZZ. AREA:	2,027 SQ.M.
TOTAL AREAS:	10,769 SQ.M.
NO. WAREHOUSES:	49
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	211

BLOCK AREAS

BLOCK A	
WAREHOUSE AREA:	2127 SQ.M.
OFFICE AREA (L1):	820 SQ.M.

BLOCK B	
CAFE AREA(G):	166 SQ.M.
CAFE AREA (L1):	160 SQ.M.
OFFICE AREA (G):	1226 SQ.M.
OFFICE AREA (L1):	1120 SQ.M.

BLOCK C	
WAREHOUSE AREA:	860 SQ.M.
OFFICE AREA (L1):	350 SQ.M.
OFFICE AREA (L2):	350 SQ.M.

BLOCK D	
WAREHOUSE AREA:	1634 SQ.M.
OFFICE AREA (L1):	205 SQ.M.

BLOCK E	
WAREHOUSE AREA:	696 SQ.M.
OFFICE AREA (L1):	200 SQ.M.

BLOCK F	
WAREHOUSE AREA:	651 SQ.M.
OFFICE AREA (L1):	102 SQ.M.

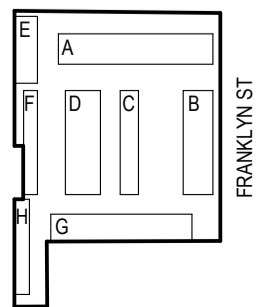
TOTAL

SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.

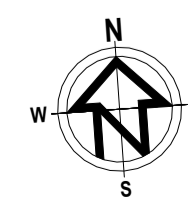
NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

LEGEND	
	LANDSCAPING
	1.0 x 1.0M DIAMOND CUTOUT TO PAVING FOR LANDSCAPING, NO KERB
	PARKING SPACE
	PERMEABLE PAVING ON PARKING SPACE

Key Plan:



North:



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Drawing Name:
UPPER DEV. GROUND FLOOR PLAN

Project No.:

21188

Date:
DEC 2021

Scale:
A1 = As indicated

Sheet / Revision No.:
TP-01.02 - 8

Checked:
MG

Drawn:
FB

RFI RESPONSE	28.07.22	8
RFI RESPONSE	28.07.22	7
FOR COORDINATION	27.07.22	6
FOR COORDINATION	21.07.22	5
FOR COORDINATION	12.07.22	4
RFI RESPONSE	27.06.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

Drawing Issue:
TOWN PLANNING

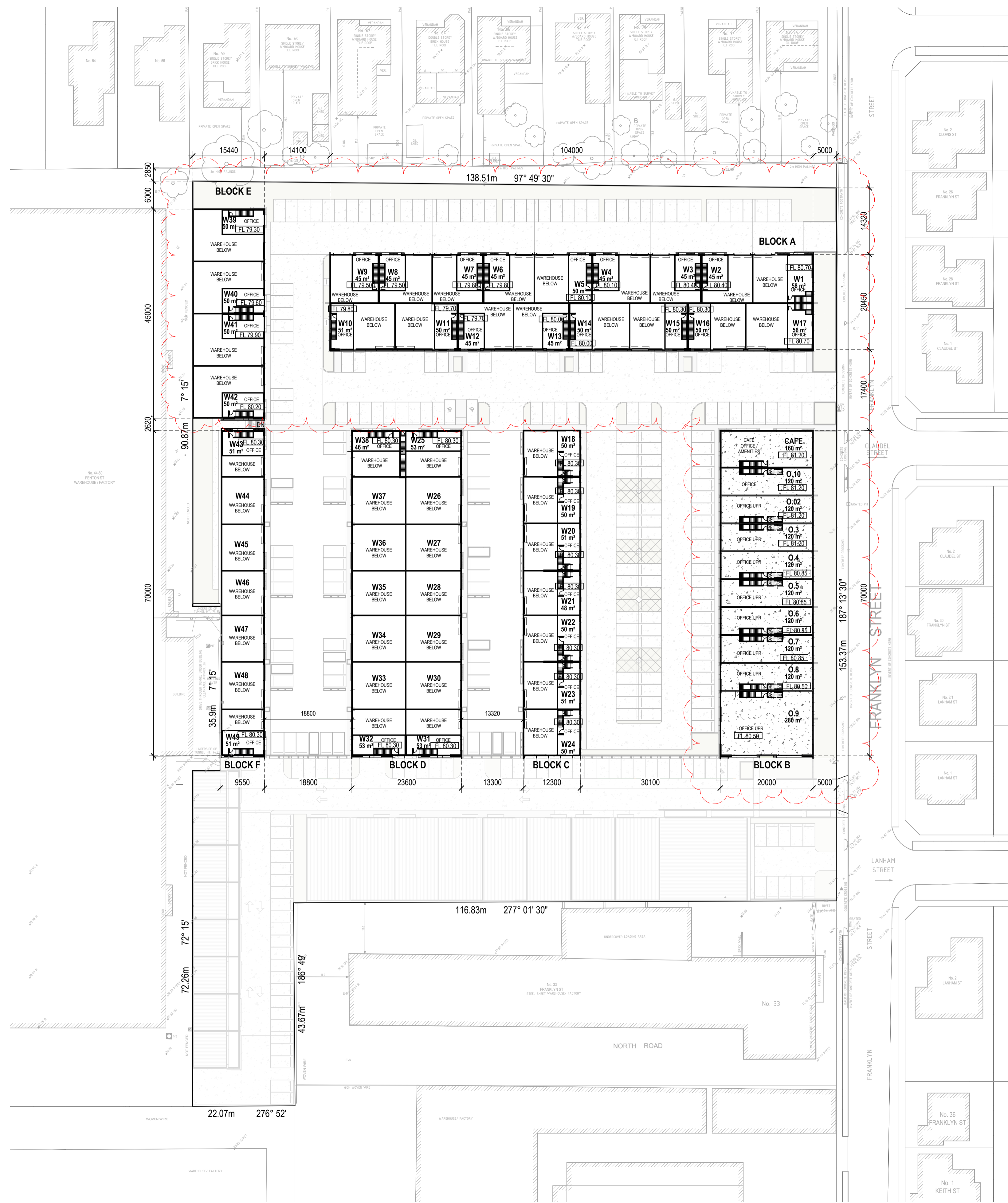
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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST
HUNTINGDALE



DEVELOPMENT SUMMARY

UPPER DEVELOPMENT

SITE AREA:	12,343 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
WAREHOUSE GR AREA:	5,968 SQ.M.
WAREHOUSE MEZZ. AREA:	2,027 SQ.M.
TOTAL AREAS:	10,769 SQ.M.
NO. WAREHOUSES:	49
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	211

BLOCK AREAS

BLOCK A	
WAREHOUSE AREA:	2127 SQ.M.
OFFICE AREA (L1):	820 SQ.M.

BLOCK B	
CAFE AREA(G):	166 SQ.M.
CAFE AREA (L1):	160 SQ.M.
OFFICE AREA (G):	1226 SQ.M.
OFFICE AREA (L1):	1120 SQ.M.

BLOCK C	
WAREHOUSE AREA:	860 SQ.M.
OFFICE AREA (L1):	350 SQ.M.
OFFICE AREA (L2):	350 SQ.M.

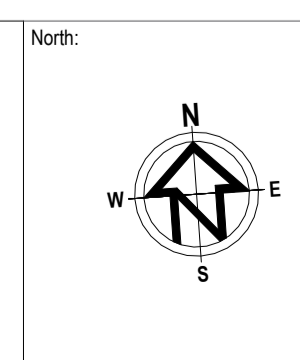
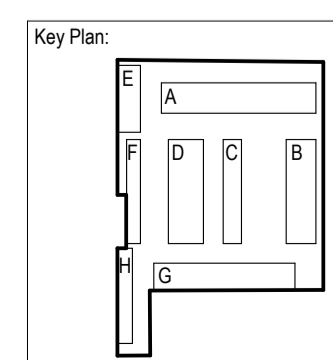
BLOCK D	
WAREHOUSE AREA:	1634 SQ.M.
OFFICE AREA (L1):	205 SQ.M.

BLOCK E	
WAREHOUSE AREA:	696 SQ.M.
OFFICE AREA (L1):	200 SQ.M.

BLOCK F	
WAREHOUSE AREA:	651 SQ.M.
OFFICE AREA (L1):	102 SQ.M.

TOTAL

SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
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TOTAL NFA (APPROX):	14,150 SQ.M.
NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273



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Drawing Name:
UPPER DEV. LEVEL 01 FLOOR PLAN

Project No.:
21188

Date:
DEC 2021

Scale:
A1 = 1 : 500

Sheet / Revision No.:
TP-01.03 - 6

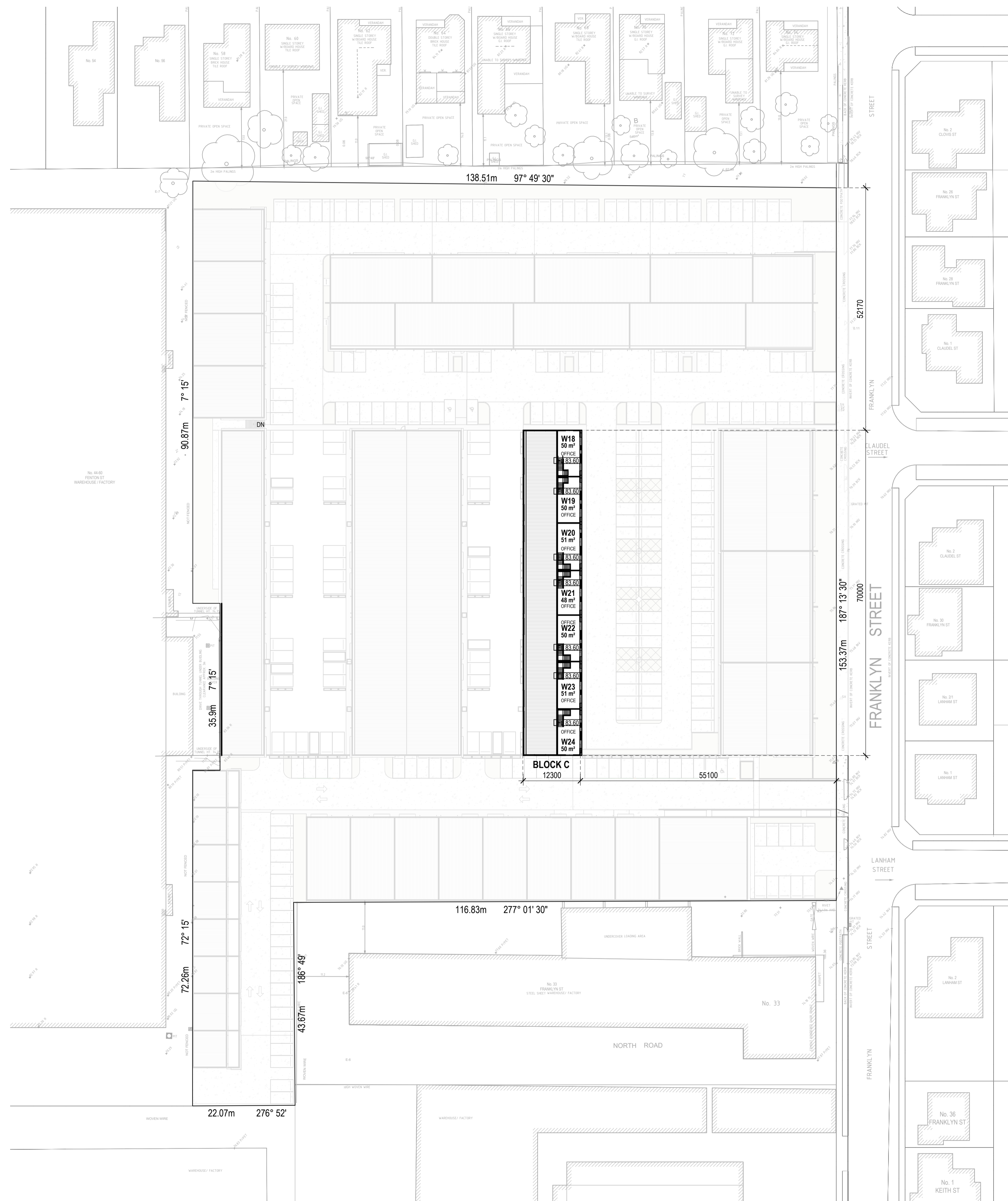
RFI RESPONSE	29.07.22	6
RFI RESPONSE FOR COORDINATION	29.07.22	5
RFI RESPONSE	12.07.22	4
RFI RESPONSE	27.06.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

Drawing Issue:
TOWN PLANNING

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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT
AT
17-31 FRANKLYN ST HUNTINGDALE

T:\archive\0622021\18-17-31 Franklyn St, Huntingdale - Design\1 - Town Planning\11-042621\TP-01.03 - 6 Franklyn St, Huntingdale TP-01.03



DEVELOPMENT SUMMARY

UPPER DEVELOPMENT

SITE AREA:	12,343 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
WAREHOUSE GR AREA:	5,968 SQ.M.
WAREHOUSE MEZZ. AREA:	2,027 SQ.M.
TOTAL AREAS:	10,769 SQ.M.

NO. WAREHOUSES:	49
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	211

BLOCK AREAS

BLOCK A

WAREHOUSE AREA:	2127 SQ.M.
OFFICE AREA (L1):	820 SQ.M.

BLOCK B

CAFE AREA(G):	166 SQ.M.
CAFE AREA (L1):	160 SQ.M.
OFFICE AREA (G):	1226 SQ.M.
OFFICE AREA (L1):	1120 SQ.M.

BLOCK C

WAREHOUSE AREA:	860 SQ.M.
OFFICE AREA (L1):	350 SQ.M.
OFFICE AREA (L2):	350 SQ.M.

BLOCK D

WAREHOUSE AREA:	1634 SQ.M.
OFFICE AREA (L1):	205 SQ.M.

BLOCK E

WAREHOUSE AREA:	696 SQ.M.
OFFICE AREA (L1):	200 SQ.M.

BLOCK F

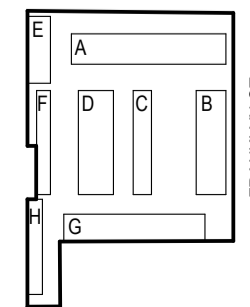
WAREHOUSE AREA:	651 SQ.M.
OFFICE AREA (L1):	102 SQ.M.

TOTAL

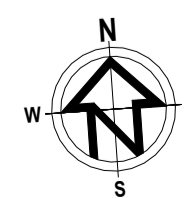
SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.

NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

Key Plan:



North:



Note:

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Drawing Name:
UPPER DEV. LEVEL 02 FLOOR PLAN

Project No.:

21188

Date: DEC 2021

Scale: A1 = 1 : 500

Sheet / Revision No.:

TP-01.04 - 5

Checked:

MG

Drawn:

FB

RFI RESPONSE

28.07.22

4

RFI RESPONSE

27.06.22

3

RFI RESPONSE

10.02.22

2

TP LODGEMENT

23.12.21

1

Revision Description:

Revision Date: Rev. No.:

Drawing Issue:

TOWN PLANNING

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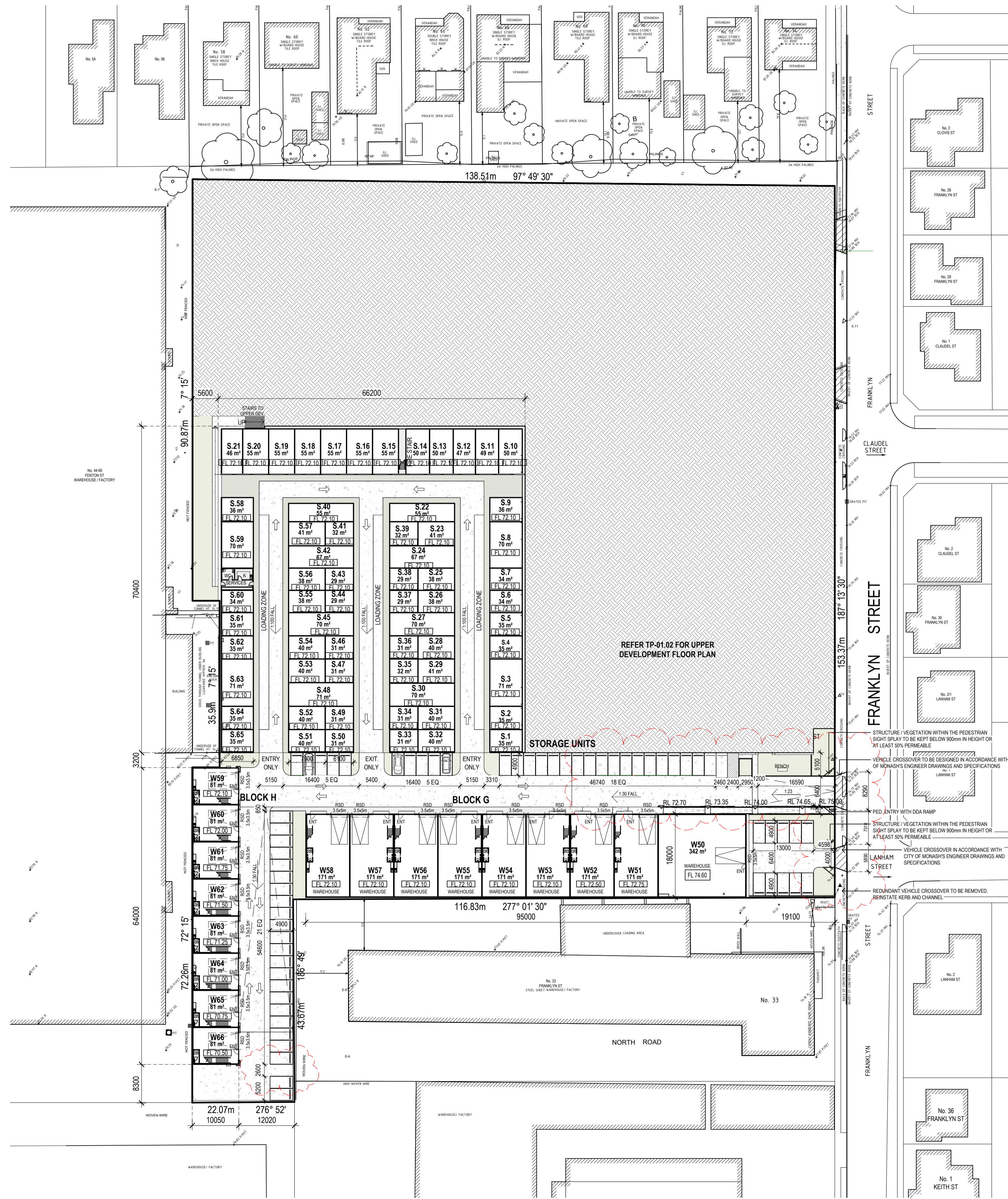
@archsign_pty_ltd

Project:

INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT

17-31 FRANKLYN ST
HUNTINGDALE



DEVELOPMENT SUMMARY

LOWER DEVELOPMENT	
SITE AREA:	9,783 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	2,358 SQ.M.
WAREHOUSE MEZZ. AREA:	1,633 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	7,034 SQ.M.

NO. WAREHOUSES:	17
NO. STORAGE UNITS:	65
NO. CAR SPACES:	62

BLOCK AREAS

BLOCK G

WAREHOUSE AREA:	1710 SQ.M.
OFFICE AREA (L1):	513 SQ.M.

BLOCK H

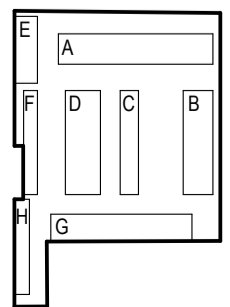
WAREHOUSE AREA:	648 SQ.M.
OFFICE AREA (L1):	648 SQ.M.
OFFICE AREA (L2):	472 SQ.M.

TOTAL

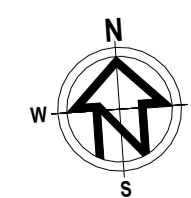
SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.

NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

Key Plan:



North:



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Drawing Name:
LOWER DEV. GROUND FLOOR PLAN

Project No.:

21188

Date:
DEC 2021

Scale:
A1 = 1 : 500

Sheet / Revision No.:
TP-01.05 - 8

Checked:
MG

Drawn:
FB

RFI RESPONSE	29.07.22	8
RFI RESPONSE	28.07.22	7
FOR COORDINATION	27.07.22	6
FOR COORDINATION	21.07.22	5
FOR COORDINATION	13.07.22	4
RFI RESPONSE	27.06.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

Drawing Issue:
TOWN PLANNING

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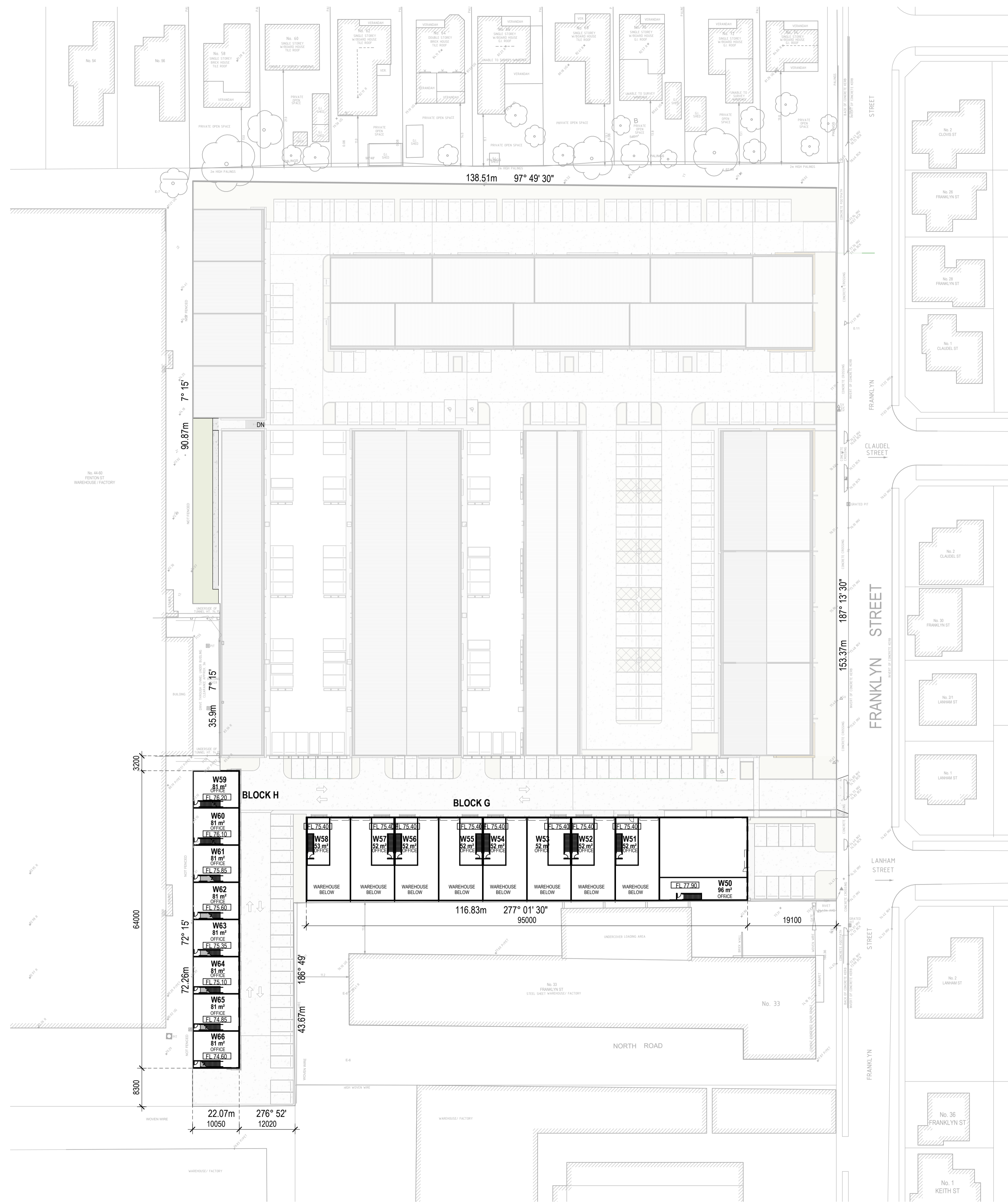
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Project:

INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT

17-31 FRANKLYN ST
HUNTINGDALE



DEVELOPMENT SUMMARY

LOWER DEVELOPMENT

SITE AREA:	9,783 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	2,358 SQ.M.
WAREHOUSE MEZZ. AREA:	1,633 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	7,034 SQ.M.

NO. WAREHOUSES:	17
NO. STORAGE UNITS:	65
NO. CAR SPACES:	62

BLOCK AREAS

BLOCK G

WAREHOUSE AREA:	1710 SQ.M.
OFFICE AREA (L1):	513 SQ.M.

BLOCK H

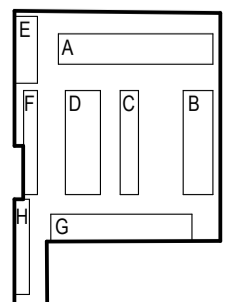
WAREHOUSE AREA:	648 SQ.M.
OFFICE AREA (L1):	648 SQ.M.
OFFICE AREA (L2):	472 SQ.M.

TOTAL

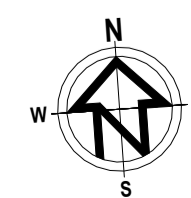
SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.

NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273

Key Plan:



North:



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Drawing Name:
LOWER DEV. LEVEL 01 FLOOR PLAN

Project No.:

21188

Date:
DEC 2021

Scale:
A1 = 1 : 500

Sheet / Revision No.:

TP-01.06 - 4

Checked:

MG

Drawn:

FB

RFI RESPONSE

29.07.22

4

RFI RESPONSE

27.06.22

3

RFI RESPONSE

10.02.22

2

TP LODGEMENT

23.12.21

1

Revision Description:

Revision Date: Rev. No.:

Drawing Issue:

TOWN PLANNING



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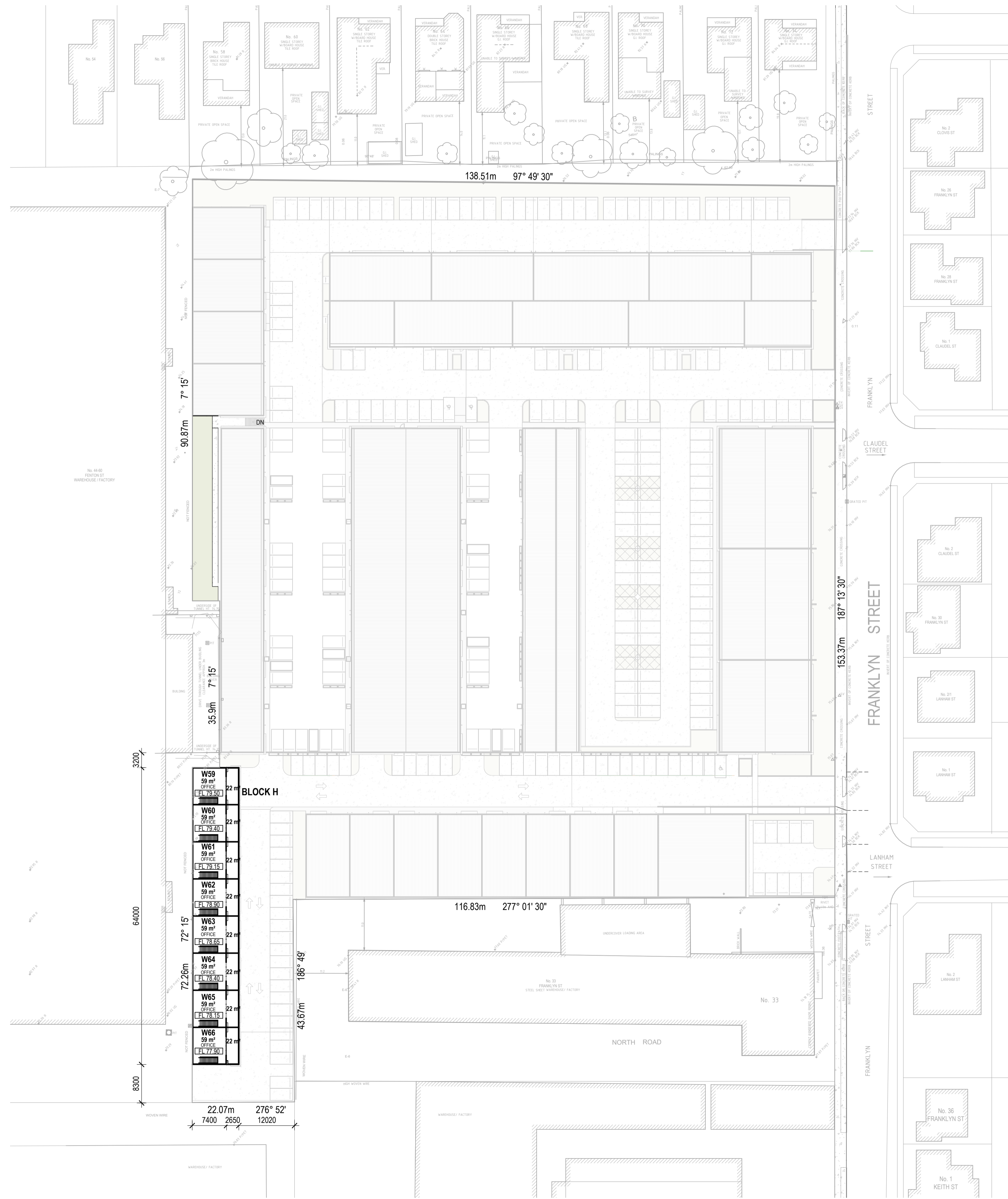
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Project:

INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT

17-31 FRANKLYN ST
HUNTINGDALE



DEVELOPMENT SUMMARY

LOWER DEVELOPMENT

SITE AREA:	9,783 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	2,358 SQ.M.
WAREHOUSE MEZZ. AREA:	1,633 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	7,034 SQ.M.

NO. WAREHOUSES:	17
NO. STORAGE UNITS:	65
NO. CAR SPACES:	62

BLOCK AREAS

BLOCK G

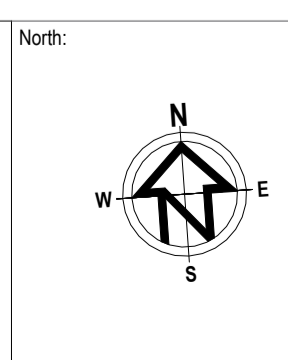
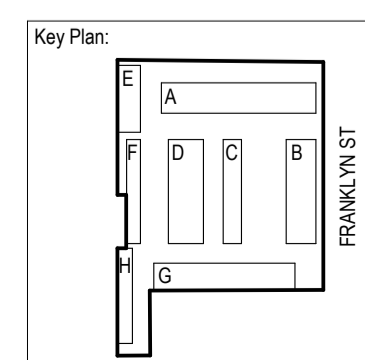
WAREHOUSE AREA:	1710 SQ.M.
OFFICE AREA (L1):	513 SQ.M.

BLOCK H

WAREHOUSE AREA:	648 SQ.M.
OFFICE AREA (L1):	648 SQ.M.
OFFICE AREA (L2):	472 SQ.M.

TOTAL

SITE AREA:	22,126 SQ.M.
OFFICE AREA:	2,346 SQ.M.
CAFE AREA:	320 SQ.M.
STORAGE UNIT AREA:	2,867 SQ.M.
WAREHOUSE GR AREA:	8,326 SQ.M.
WAREHOUSE MEZZ. AREA:	3,660 SQ.M.
WAREHOUSE TERRACE AREA:	176 SQ.M.
TOTAL AREAS:	17,695 SQ.M.
TOTAL NFA (APPROX):	14,150 SQ.M.
NO. WAREHOUSES:	66
NO. STORAGE UNITS:	65
NO. OFFICE:	10
NO. CAFE:	1
NO. CAR SPACES:	273



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Drawing Name:
LOWER DEV. LEVEL 02 FLOOR PLAN

Project No.: **21188**

Date: **DEC 2021**

Scale: **A1 = 1 : 500**

Sheet / Revision No.: **TP-01.07 - 4**

Checked:	MG	29.07.22	4
Drawn:	FB	27.06.22	3
Revision Description:		10.02.22	2
		23.12.21	1
Revision Date:			
Rev. No.:			

Drawing Issue:
TOWN PLANNING

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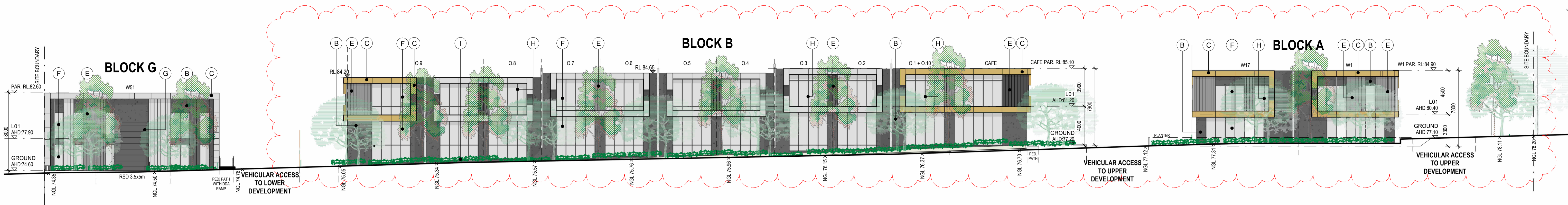
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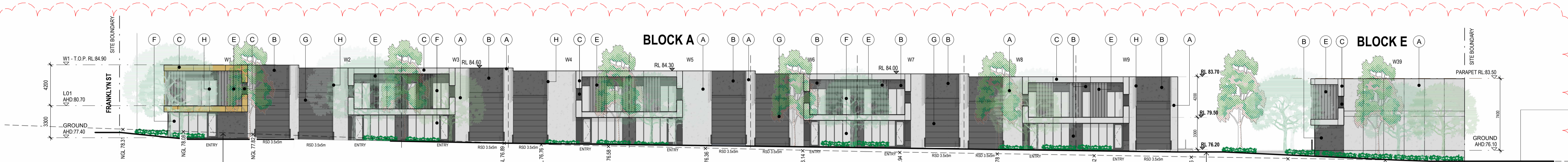
Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST HUNTINGDALE

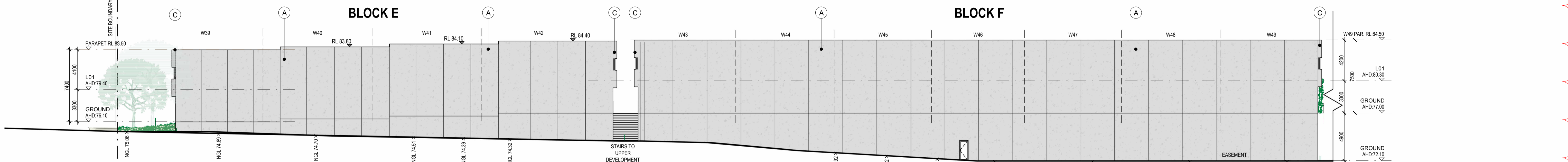
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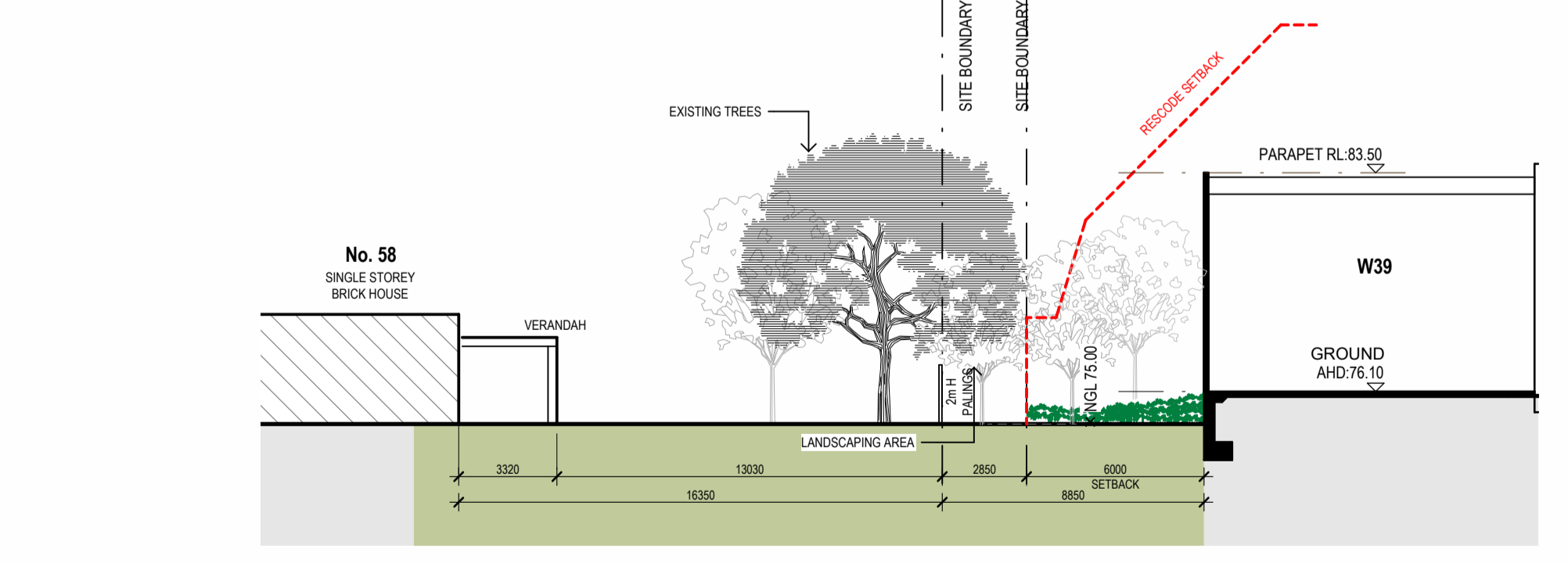
1. EAST ELEVATION (FRANKLYN ST)
1 : 200



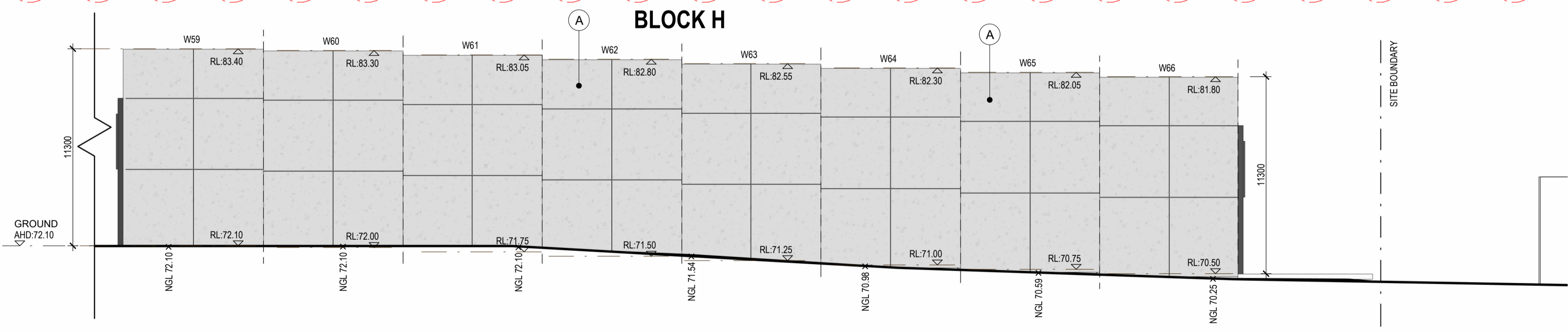
2. NORTH ELEVATION
1 : 200



3. WEST ELEVATION A
1 : 200



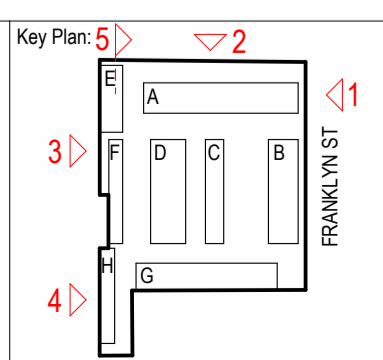
5. ADJOINING RESIDENTIAL INTERFACE DIAGRAMTIC SECTION
1 : 200
REGULATION 79 : SIDE AND REAR SETBACK DIAGRAM



4. WEST ELEVATION B
1 : 200

EXTERIOR FINISHES SCHEDULE

(A) CONCRETE PANEL NATURAL FINISH	(E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR SHALE GREY
(B) CONCRETE PANEL OR FC SHEET BLACK RENDER FINISH	(F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
(C) COMPOSITE PANEL CLADDING 'WHITE' OR 'CHARCOAL' FINISH	(G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
(D) FC SHEET WITH EXPRESSED JOINTS CHARCOAL FINISH	(H) 50x25mm FEATURE METAL FINIS POWDERCOAT WHITE FINISH
	(I) RETAINING WALL WHITE RENDER FINISH



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Drawing Name:
ELEVATIONS 1

Project No.:
21188

Date:
DEC 2021

Scale:
A1 = 1 : 200

Sheet / Revision No.:
TP-02.01 - 8

RFI RESPONSE	29.07.22	8
RFI RESPONSE	28.07.22	7
FOR COORDINATION	21.07.22	6
FOR COORDINATION	13.07.22	5
RFI RESPONSE	27.06.22	4
RFI RESPONSE	17.02.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1
Revision Description:	Revision Date:	Rev. No.:

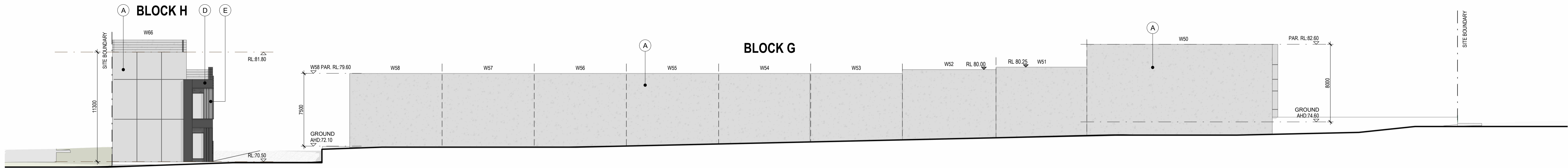
Drawing Issue:
TOWN PLANNING

archsign

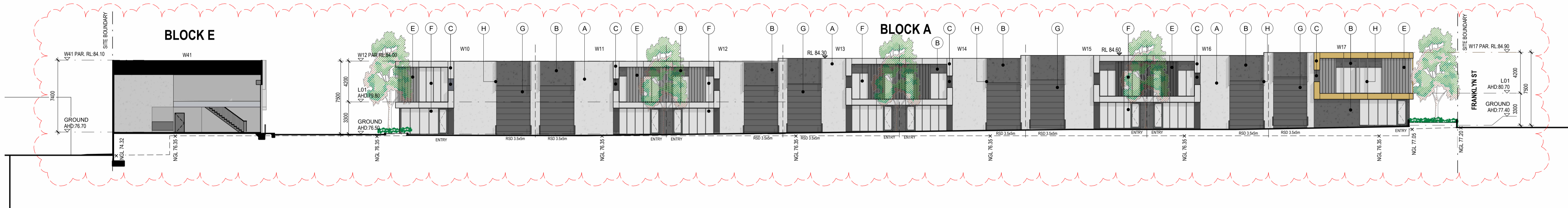
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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT
AT
17-31 FRANKLYN ST HUNTINGDALE

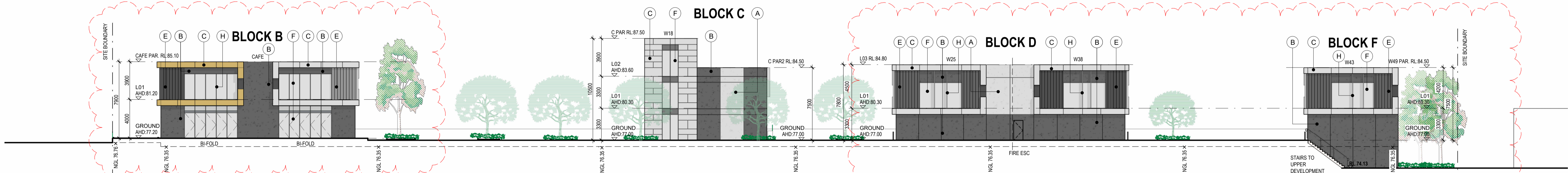
T:\archive\0622021\18-10-21 Franklyn St Huntingdale\0622021\18-10-21 Franklyn St Huntingdale\TP-02.01.dwg



1. SOUTH ELEVATION
1 : 200



2. INTERNAL SOUTH ELEVATION (BLOCK A)
1 : 200

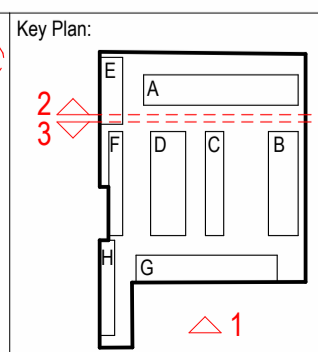


3. INTERNAL NORTH ELEVATION (BLOCKS B, C, D & F)
1 : 200

EXTERIOR FINISHES SCHEDULE

- (A) CONCRETE PANEL NATURAL FINISH
- (B) CONCRETE PANEL OR FC SHEET BLACK RENDER FINISH
- (C) COMPOSITE PANEL CLADDING 'WHITE' OR 'CHARCOAL' FINISH
- (D) FC SHEET WITH EXPRESSED JOINTS CHARCOAL FINISH
- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
- (H) 50x25mm FEATURE METAL FINIS POWDERCOAT WHITE FINISH
- (I) RETAINING WALL WHITE RENDER FINISH

- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
- (H) 50x25mm FEATURE METAL FINIS POWDERCOAT WHITE FINISH
- (I) RETAINING WALL WHITE RENDER FINISH



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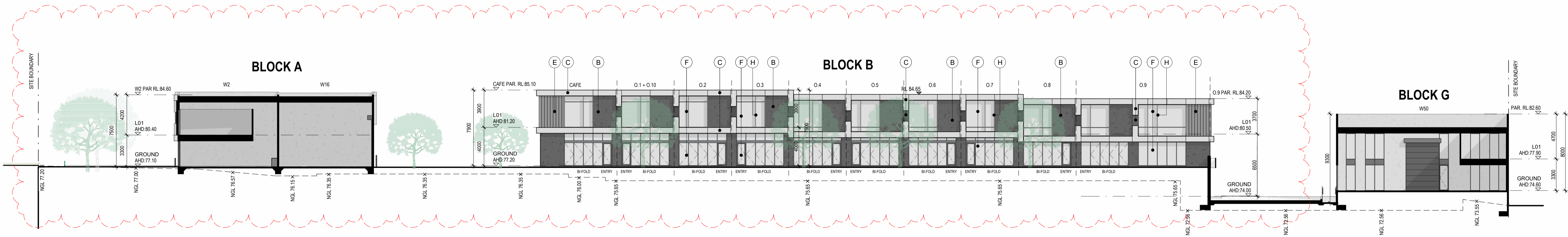
Drawing Name:
ELEVATIONS 2

Project No.: 21188
Date: DEC 2021
Scale: A1 = 1 : 200
Sheet / Revision No.: TP-02.02 - 6

Revision Description	Revision Date	Rev. No.
RFI RESPONSE	29.07.22	6
RFI RESPONSE	29.07.22	5
RFI RESPONSE	27.06.22	4
RFI RESPONSE	17.02.22	3
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TP LODGEMENT	23.12.21	1

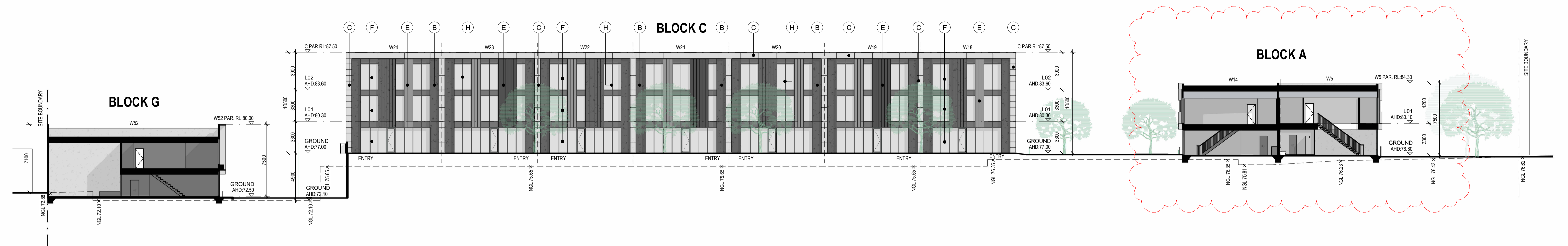
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Project: INDUSTRIAL BUSINESS PARK DEVELOPMENT
AT
17-31 FRANKLYN ST HUNTINGDALE



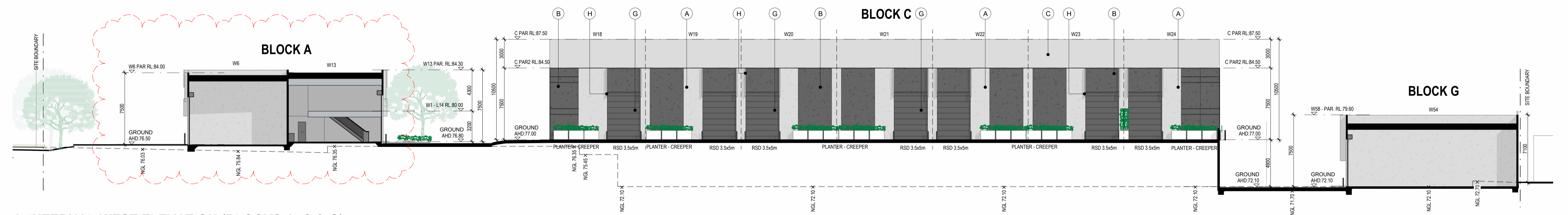
1. INTERNAL WEST ELEVATION (BLOCKS A, B & G)

1 : 200



2. INTERNAL EAST ELEVATION (BLOCKS A, C & G)

1 : 200



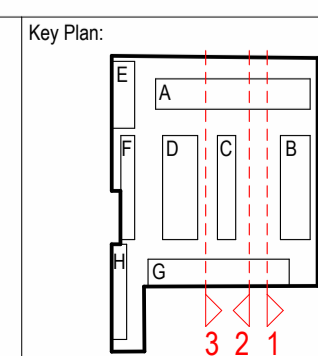
3. INTERNAL WEST ELEVATION (BLOCKS A, C & G)

1 : 200

EXTERIOR FINISHES SCHEDULE

- (A) CONCRETE PANEL NATURAL FINISH
- (B) CONCRETE PANEL OR FC SHEET BLACK RENDER FINISH
- (C) COMPOSITE PANEL CLADDING 'WHITE' OR 'CHARCOAL' FINISH
- (D) FC SHEET WITH EXPRESSED JOINTS CHARCOAL FINISH
- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
- (H) 50x25mm FEATURE METAL FINISH POWDERCOAT WHITE FINISH
- (I) RETAINING WALL WHITE RENDER FINISH

- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
- (H) 50x25mm FEATURE METAL FINISH POWDERCOAT WHITE FINISH
- (I) RETAINING WALL WHITE RENDER FINISH



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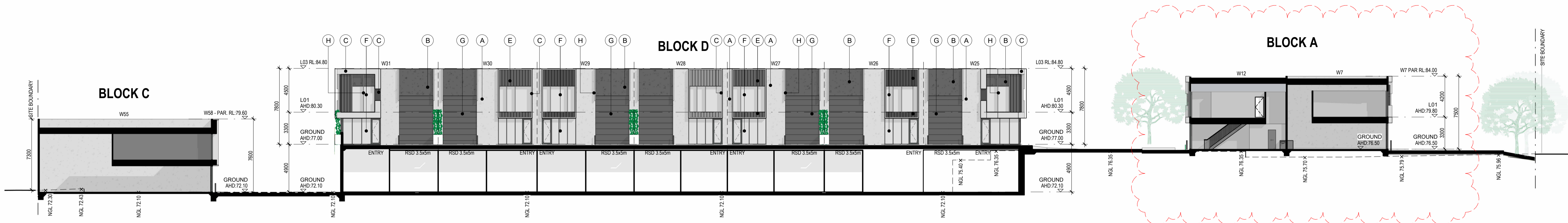
Drawing Name: ELEVATIONS 3

Project No.: 21188
 Date: DEC 2021
 Scale: A1 = 1 : 200
 Sheet / Revision No.: TP-02.03 - 6

Revision Description	Revision Date	Rev. No.
RFI RESPONSE	29.07.22	6
RFI RESPONSE	29.07.22	5
RFI RESPONSE	27.06.22	4
RFI RESPONSE	17.02.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1

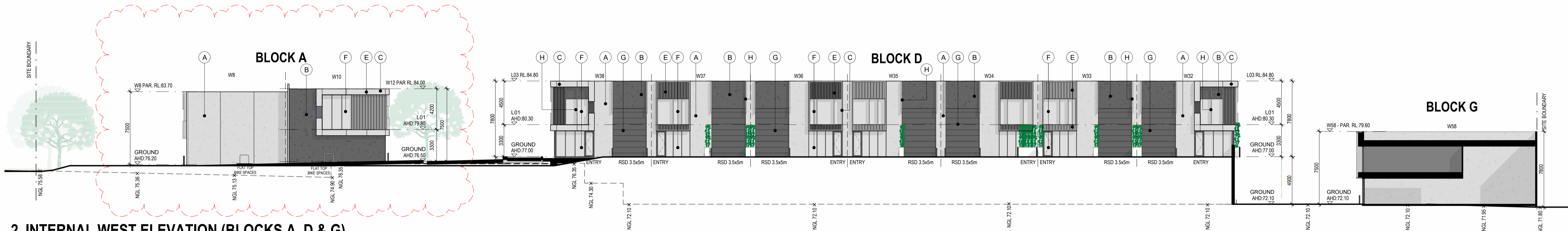
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Project: INDUSTRIAL BUSINESS PARK DEVELOPMENT
 AT
 17-31 FRANKLYN ST HUNTINGDALE



1. INTERNAL EAST ELEVATION (BLOCKS A, D & G)

1 : 200



2. INTERNAL WEST ELEVATION (BLOCKS A, D & G)

1 : 200



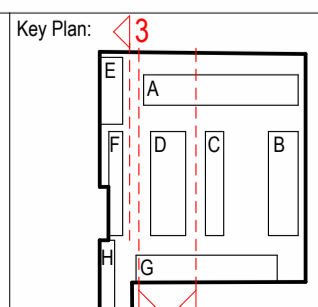
3. INTERNAL EAST ELEVATION (BLOCKS E & F)

1 : 200

EXTERIOR FINISHES SCHEDULE

- (A) CONCRETE PANEL NATURAL FINISH
- (B) CONCRETE PANEL OR FC SHEET BLACK RENDER FINISH
- (C) COMPOSITE PANEL CLADDING 'WHITE' OR 'CHARCOAL' FINISH
- (D) FC SHEET WITH EXPRESSED JOINTS CHARCOAL FINISH
- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
- (H) 50x250mm FEATURE METAL FINIS POWDERCOAT WHITE FINISH
- (I) RETAINING WALL WHITE RENDER FINISH

Key Plan



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Drawing Name:
ELEVATIONS 4

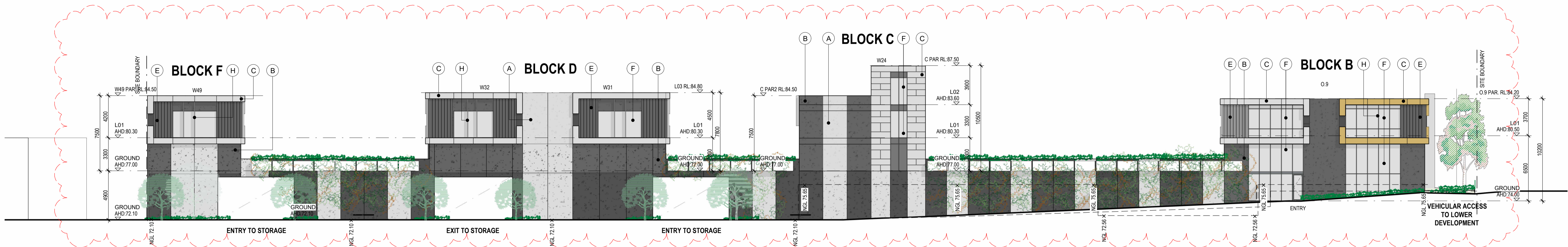
Project No.: **21188**
Date: **DEC 2021**
Scale: **A1 = 1 : 200**
Sheet / Revision No.: **TP-02.04 - 6**

Revision Description	Revision Date	Rev. No.
RFI RESPONSE	25.07.22	6
RFI RESPONSE	28.07.22	5
RFI RESPONSE	27.06.22	4
RFI RESPONSE	17.02.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1

Drawing Issue:
TOWN PLANNING

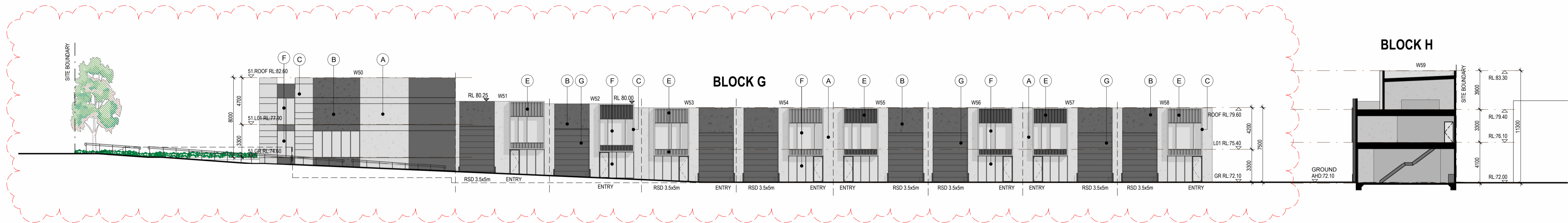
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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT
AT
17-31 FRANKLYN ST HUNTINGDALE



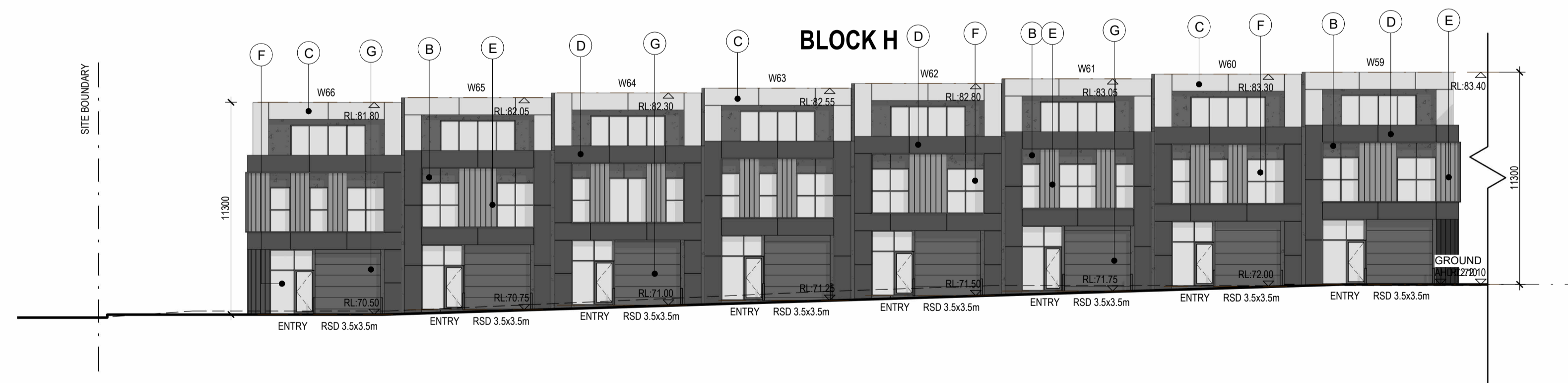
1. INTERNAL SOUTH ELEVATION (BLOCKS B, C, D & F)

1 : 200



2. INTERNAL NORTH ELEVATION (BLOCKS G & H)

1 : 200



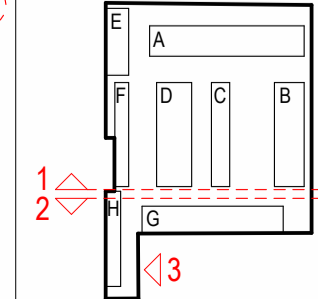
3. INTERNAL EAST ELEVATION (BLOCK H)

1 : 200

EXTERIOR FINISHES SCHEDULE

- (A) CONCRETE PANEL NATURAL FINISH
- (B) CONCRETE PANEL OR FC SHEET BLACK RENDER FINISH
- (C) COMPOSITE PANEL CLADDING 'WHITE' OR 'CHARCOAL' FINISH
- (D) FC SHEET WITH EXPRESSED JOINTS CHARCOAL FINISH
- (E) PRE-CAST PANELS WITH EXPRESSED JOINTS, 'NIGHT SKY', 'MONUMENT' OR 'SHALE GREY'
- (F) COMMERCIAL GLAZING SYSTEM POWDERCOAT BLACK FRAMES
- (G) ROLLER SHUTTER DOOR COLORBOND MONUMENT FINISH
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Key Plan



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Drawing Name:
ELEVATIONS 5

Project No.:
21188

Date:
DEC 2021

Scale:
A1 = 1 : 200

Sheet / Revision No.:
TP-02.05 - 6

Revision Description	Revision Date	Rev. No.
RFI RESPONSE	28.07.22	5
RFI RESPONSE	27.06.22	4
RFI RESPONSE	17.02.22	3
RFI RESPONSE	10.02.22	2
TP LODGEMENT	23.12.21	1

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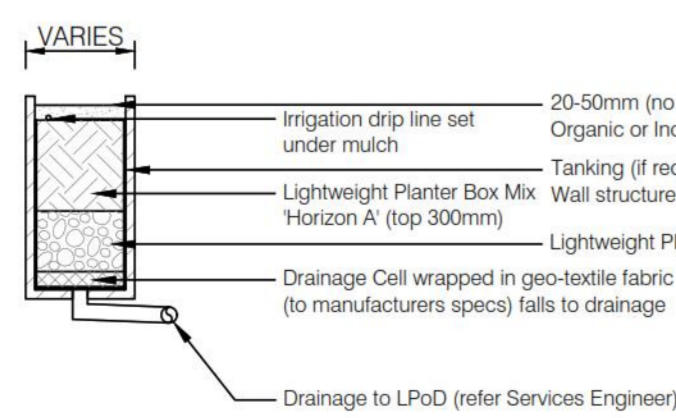
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Project:
INDUSTRIAL BUSINESS PARK DEVELOPMENT

AT
17-31 FRANKLYN ST HUNTINGDALE

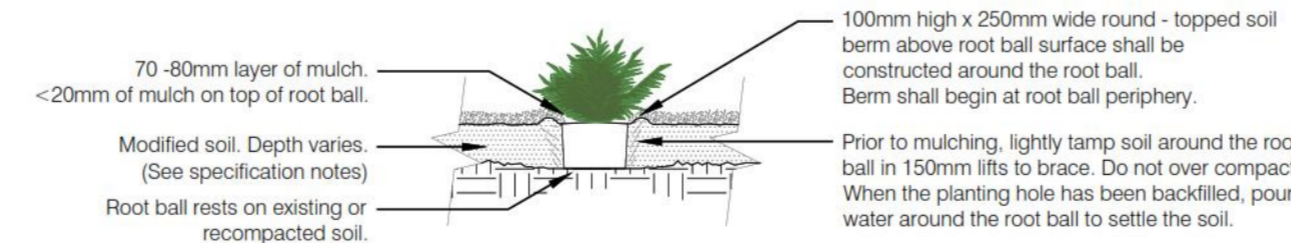


GROUND FLOOR 1:400 @ A1

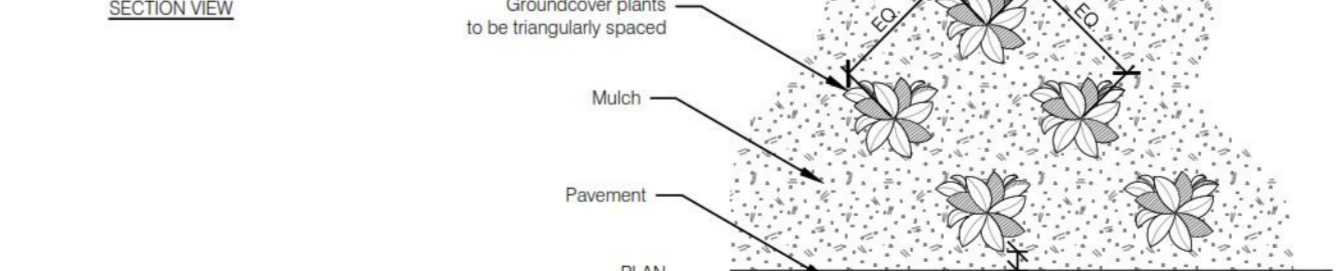


4 PLANTER BOX - TYPICAL

Note: Use proprietary soil blends, free draining, non-slumping material. Add slow-release fertilizer. Adhere to all AU Standards and NCC.



3 TYPICAL SHRUB PLANTING



2 TYPICAL DETAIL - GROUNDCOVER PLANTING

SHEET INDEX

SHEET	DESCRIPTION
A1.1	LP GF
A1.2	LP B1

DETAIL REPORT

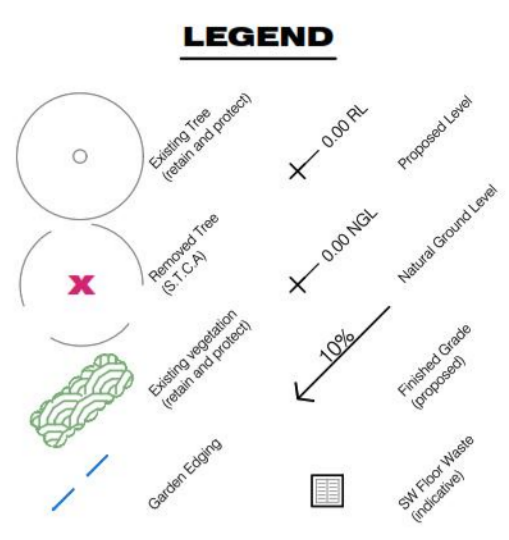
NUMBER	TITLE	DETAIL
1/A1.1	TYPICAL TREE PLANTING	M-PL-09
2/A1.1	TYPICAL DETAIL - GROUNDCOVER PLANTING	M-PL-02
3/A1.1	TYPICAL SHRUB PLANTING	M-PL-05
4/A1.1	PLANTER BOX - TYPICAL	M-PL-05
1/A1.2	CONCRETE FOOTPATH	M-SU-15
2/A1.2	CONCRETE DRIVEWAY - HEAVY VEHICLES	M-SU-17
3/A1.2	TYPICAL DETAIL - STEEL EDGING	M-ED-03
4/A1.2	GARDEN BEDS	M-SU-09
5/A1.2	AGGREGATE TOPPING/ PEBBLE	M-SU-08
6/A1.2	PERMEABLE PAVING	M-SU-11

REFERENCE NOTES SCHEDULE GF

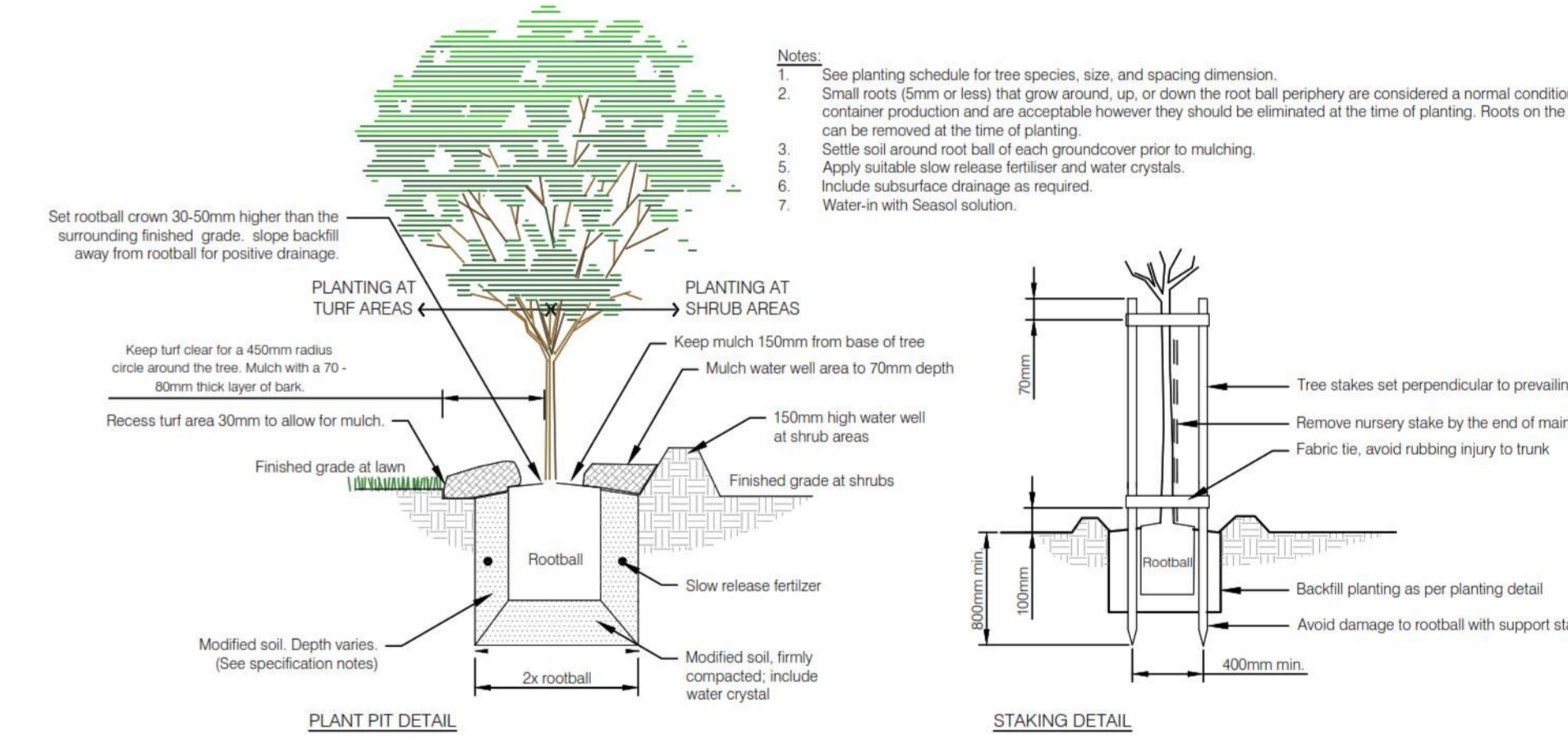
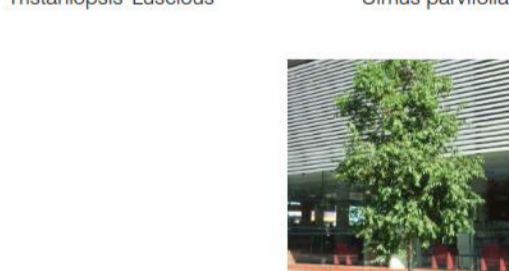
SYMBOL	DESCRIPTION	QTY	Specification	Installation
1/PV104	Concrete Drive	7,010 m ²	Pigment oxide in natural tone	25/32MPa with steel reinforcement. Refer Eng.
1/PV105	Concrete Path	733.3 m ²	Pigment oxide in natural tone	25MPa with steel reinforcement. Refer Eng.
SYMBOL	DESCRIPTION	QTY	Specification	Material
1/EP153	Permeable Paving (hex)	200.6 m ²	Adtri EcoTriHex, 188x260mm	Porous Concrete, 'Natural'

PLANT SCHEDULE GF

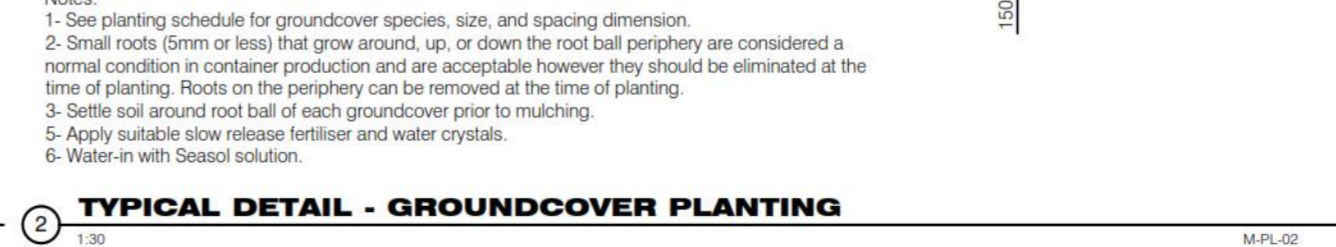
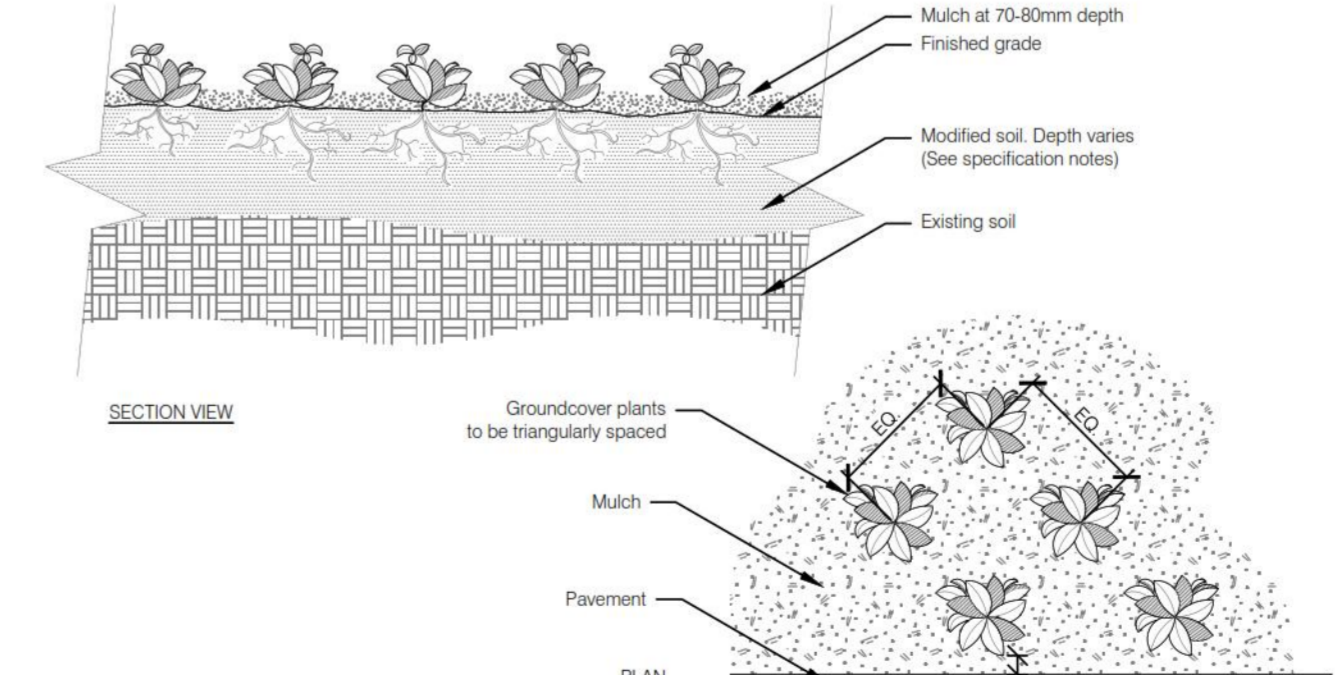
TREES	BOTANICAL NAME	COMMON NAME	SIZE AT P	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
ACA IMP	Acacia implexa	Lightwood	2m+ (40R)	76m	N (ND)	(S) Canopy	27	
ANG COS	Angophora costata	Apple Gum	2m+ (40R)	20x12m	N	(L) Canopy	1	
ELA RES	Elaeagnus reticulata	Blueberry Ash	2m+ (40R)	9x4m	N	(S) Canopy	7	
EUC POL	Eucalyptus polyanthemos	Redbox	2m+ (40R)	10x5m	N (ND)	(M) Canopy	5	
PYR CAP	Pyrus calleryana 'Capital'	Capital Callery Pear	2m+ (40R)	12x3m	E	(S) Canopy	4	
PYR LNC	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	2m+ (40R)	11x6m	E	(S) Canopy	7	
TRI LUS	Tristanopsis laurina 'Luscious'	Luscious Water Gum	2m+ (40R)	12x5m	N	(M) Canopy	10	
ULM PLU	Ulmus parvifolia 'Murray's Form'	Chinese Elm	2m+ (40R)	10x8m	N	(M) Canopy	4	
WAT GRA	Waterhousea floribunda 'Green Avenue'	Weeping Lily Pilly	2m+ (40R)	15x9m	N	(L) Canopy	19	
SHRUBS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
ACA COP	Acacia cognata 'Copper Tips'	River Wattle	300mm	42.5m	N	Screening plant	23	
ACA LIM	Acacia cognata 'Limegold'	River Wattle	200mm	0.7x1m	N	Sun tolerant	125	
CAL WHA	Callistemon citrinus 'White Anzac'	White Anzac Lemon Bottlebrush	200mm	1x3m	N	Clip to hedge	31	
COR ALB	Correa alba	White Correa	200mm	1x1.2m	N	Prune to shape	234	
COR GLA	Correa glabra	Rock Correa	200mm	1x1m	N (ND)	Clip to hedge	206	
DOD VIS	Dodonaea viscosa 'Green'	Green Hoopseed Bush	200mm	2.5x1.5m	N	Clip to hedge	105	
WES NAR	Westringia fruticosa 'Naringa'	Coast Rosemary	200mm	1.2x1m	N	Fast growing	125	
STRAPPY/GRASS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
DIE GRA	Dietes grandiflora	Wild Iris	200mm	1.2x1.2m	E	Very hardy	150	
LOM LIT	Lomandra longifolia 'Lime Tuff'	Lime Tuff Dwarf Mat Rush	150mm	0.6x0.7m	N (ND)	Very hardy	300	
LOM LON	Lomandra longifolia	Spiny-headed Mat Rush	140mm	1.2x1.2m	N (ND)	Very hardy	64	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	SPACING	QTY
HAR HAP	Hardenbergia violacea 'Happy Wanderer'	Lilac Vine	140mm	0.5x2m	N	Sun tolerant	1200mm	116
HIB SCA	Hibbertia scandens	Gunnies Gold Vine	200mm	0.5x3m	N	Yellow/Gold Flower	600mm	335
ROS PRO	Rosmarinus officinalis 'Prostratus'	Dwarf Rosemary	140mm	0.5x2m	E	Fast growing	500mm	120



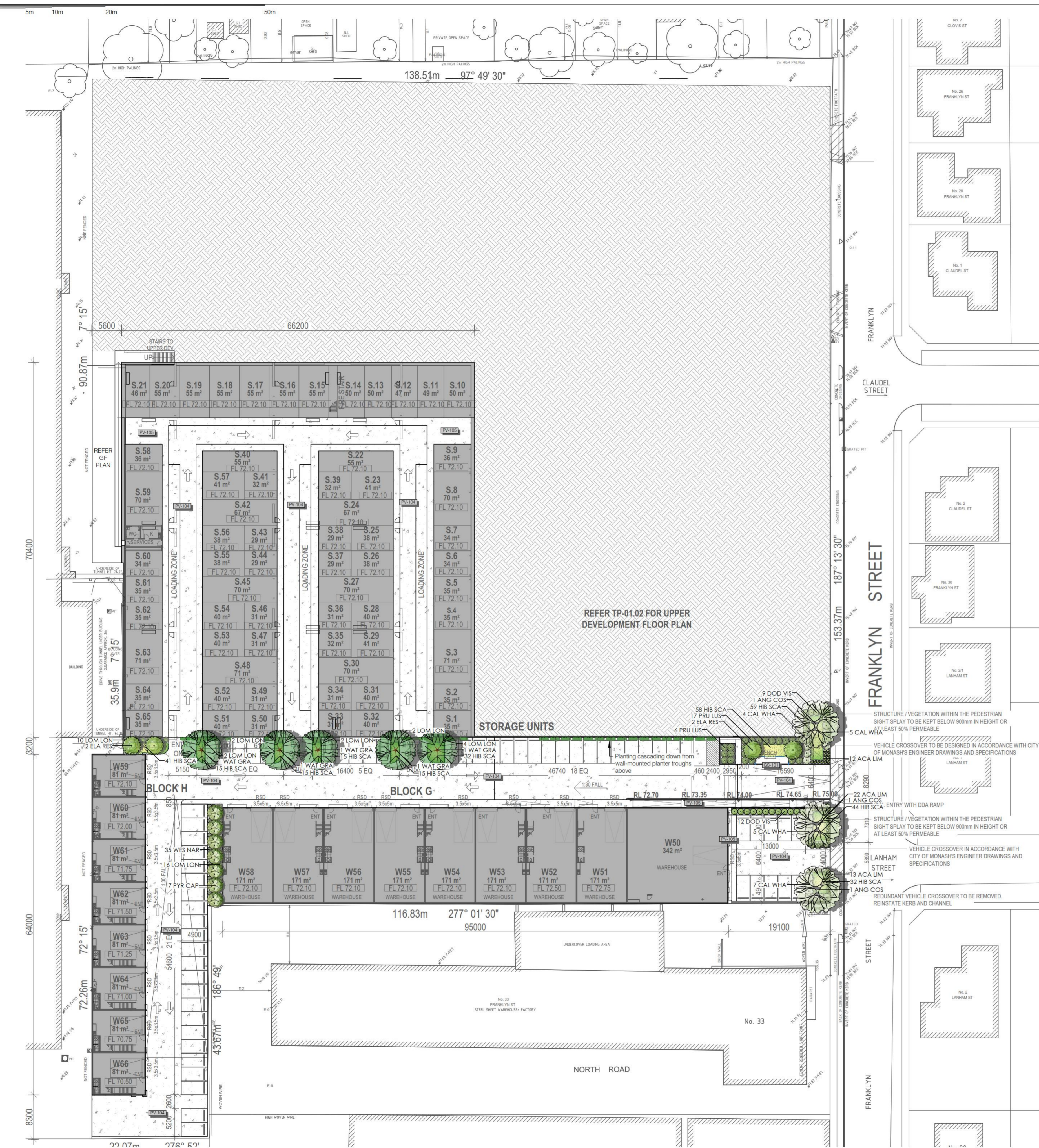
INDICATIVE MATERIALS



1 TYPICAL TREE PLANTING



2 TYPICAL DETAIL - GROUNDCOVER PLANTING



SPECIFICATIONS

GENERAL CONSIDERATIONS

Adhere to all Australian Standards, Building Codes, Local Council/Governance regulations, Environmental Protection policies, and Workplace Health and Safety guidelines. Contractor to notify Moorilla Studio immediately if any elements of this design are identified as non-compliant, or as creating an unusual/high risk to safety. Moorilla Studio recommends the engagement of a Structural and Civil Engineer to certify these plans. Contractor is responsible for obtaining all relevant permits prior to commencing any onsite works. Ensure any required temporary fences are in place (i.e. Site fence, temporary pool fencing, Tree Protection Zone fencing, Temporary balustrades etc.) Site must be left each day in a safe and clean condition.

SUBSURFACE SERVICES Services are typically not shown on plan. Contractor to verify all service locations on site prior to commencement of works. Contact Dial Before You Dig for more information.

GRADES AND LEVELS Finished Floor Levels (FLL), Finish Ground Levels (FGL), Relative Levels (RL) and Top of Wall heights (TOW) are indicative only. Contractor is responsible for onsite verification of all levels prior to commencement. Hardstand (unless noted otherwise) should be graded evenly to a minimum of 1:100, and always away from structures.

SITE DRAINAGE All hardstand to be graded away from buildings to suitable graded drains. All non-permeable retaining planter walls to include geo-soaked ag-line drainage behind. All aggregate paths to include submerged ag-line drainage to lower side. Connect all drainage points to storm water. Ag-line drainage to lawn and garden areas to be provided for ground with poor drainage. Submerged pumps and sumps may be required if SW mains are uphill. Drainage solutions shown on plan are indicative only and must be confirmed onsite. Adhere to AS2870. Refer Civil Eng.

SITE PREPARATION At least one week prior to soil cultivation/scaping, spray all vegetation to be removed with eco-friendly herbicide to manufacturer's instructions. Initial removal of existing saplings/trees to commence and poisoning regimes for vigorous species employed. Remove all onsite vegetation, structures, hardstand and debris not noted as to be retained on plan (with frequent client consultation/authorization).

SOIL PREPARATION Soils improved with soil conditioners certified to AS4454 are recommended to a minimum depth of 150mm to lawn areas and 300mm for garden beds (deeper for trees, see planting detail). Apply gypsum (to clay soils) and soil wetting agent to manufacturers specifications. Ensure lawn underlay is reasonably level.

ROOT CONTROL BARRIERS Install root-control barriers to manufacturers specifications for all new trees adjacent to built structures. Root barriers adjacent to hardstand areas are optional. No root barriers shall be installed in areas between the trunks of retained trees and permeable surfaces.

PLANTING Do not plant to dry soil. Tie out bound tree roots, and plant to firm mound to avoid sinking. Top of rootball to be flush with soil level, with trunk standing vertical. No building waste/foreign material to be used in backfill, water-in and avoid air pockets. All trees to be staked as per detail. Planting to occur strictly as specified in detail drawings. Contractor responsible for approving all plants delivered to site. Plants of incorrect variety/size, or poor health/appearance should not be accepted (adhere to AS2303.2015 - Tree Stock for Landscape Use). Do not store plants in direct afternoon sunlight, or in view from street. Plants may be substituted due to availability issues only with client authorization and Council approval.

All canopy trees are to be planted by an ACF Level 3 Qualified Arborist, Landscape Gardener or Horticulturist. All small trees are to be planted more than 1.0m away from any structures, paving, decking, property boundaries, easements, existing trees or shrubs.

HEDGES For rows of medium to large hedging/screening plants, excavate a trench to suitable length and depth for entirety of hedge. Replace loose soil between each rootball. This action will promote linear root growth (away from adjacent foundations and paths) and promote faster growth and healthier plants.

MULCH Apply mulch to all garden beds to a depth of 70-80mm. Remove any visible debris (stones, plastic, etc.). Finish 10-20mm below edging (will require top-up after 8 weeks). Mulch to be Organic Fine from local supplier, to Australian Standard AS4454. Do not use Red Mulch or similar.

CONCRETE EXPOSED AGG PAVEMENT Prepare area by clearing topsoil and laying 100mm compacted crushed rock subbase. Polyethylene membrane or sand layer is also recommended. Lay mesh and pour concrete as specified. Control joints every 3m and isolation joints against all hard edges. Finish with light sweep, coarse broom sweep for steep driveways, or exposed aggregate, as selected by client. Pigment oxide to be as selected by client, to manufacturers specifications. Finish 75mm min. below damp-proofing, and grade away from structures. Include drainage to SW as required (refer Eng.). Reinststate any subfloor ventilation that is covered. Client advised to remove all effluence as it appears with acidic wash, taking care to not allow contact with garden beds. Provide subsurface conduit for lighting and irrigation.

UNIT PAVING - PERMEABLE Prepare area by clearing topsoil and laying 100mm no fines aggregate (150mm for driveways) subbase. Geotextile non-woven sheeting can then be laid (optional). To this base, a bedding course of 2-5mm no fines basalt (or similar) aggregate is to be laid to a depth of 30mm. Provide subsurface conduit for lighting and irrigation. Lay pavers in pattern illustrated on plan with suitable concealed haunching/edge restraint. Pavers to be categorised as 'tree draining' under AS4456.16. Use of a bottom layer impermeable liner is required for clay subgrade or water harvesting, and will require suitably spaced slotted drainage pipes within the base course layer. Option exists for resin based permeable paving to permeable concrete base. Install in grey tone, to manufacturers specifications.

PEBBLE/CRUSHED ROCK PATH Prepare area by clearing topsoil and laying 70mm compacted crushed rock base. Lay path material to depth of 30mm and compact. Remove any foreign material/unsuitable large stones. Finish 5-10mm below adjacent edges. Include sub-surface drainage as required. Selection as specified.

GARDEN EDGING Install as per detail drawing. 300mm pegs (400mm for disturbed soil) to be fixed to edging at 1m centres. Steel to be 4-6x 75mm (min) mild steel, or suitable commercial product selected by contractor (option for 40x40mm or 70x30mm sawn timber/H3 hardwood). Option to paint black.

IRRIGATION System must be water efficient and to Council permit conditions. Systems should typically include Multizone Controller, Drippers or Drip-line and garden beds, and Pop-Up Sprinklers to all areas of lawn. Connect to Rain Sensors and Timers, using Rain Water Tanks if available. Multiple Spike Drippers to root ball of trees to discourage shallow root system. Ensure every plant receives adequate water. Avoid over-spray onto adjacent hard surfaces.

Contractor to program controller to appropriate hydro-zones and advise client of alterations required for changes in season. Client is advised to typically switch system off in colder months. Water should be flushed from system in times of hibernation to avoid expansion separating connections. The Irrigation Contractor to specify the extent/terms of their warranty on all parts and labour at quote submission.

MAINTENANCE The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority. Monthly fortnightly (as seasonally required) schedule for maintenance (18 months). check/revise irrigation system, weeds/litter control, mulch top-up, formative pruning. At conclusion of 18 months: stake & tree removal. General garden maintenance (i.e. mowing, fertilising, replacing dead/dying/diseased plants) to occur prudently as required.

MAINTENANCE - PERMEABLE PAVING Property owner responsible for quarterly inspections and maintenance. Keep the surface free of leaves, mud and other litter that could limit infiltration.

- Remove weeds by hand.
- Avoid mixing concrete, stoning soil or any other activities on the pavement surface that may limit its ability to absorb water.
- Do not allow surrounding surfaces, particularly garden beds, to drain onto the surface of the paving. Porous paving is designed to capture rainfall only, and excess runoff may flood or clog the paving.
- If the surface of the porous paving becomes blocked, it can be cleaned using a small vacuum, road sweeper or a pressure washer.

Source: Melbourne Water

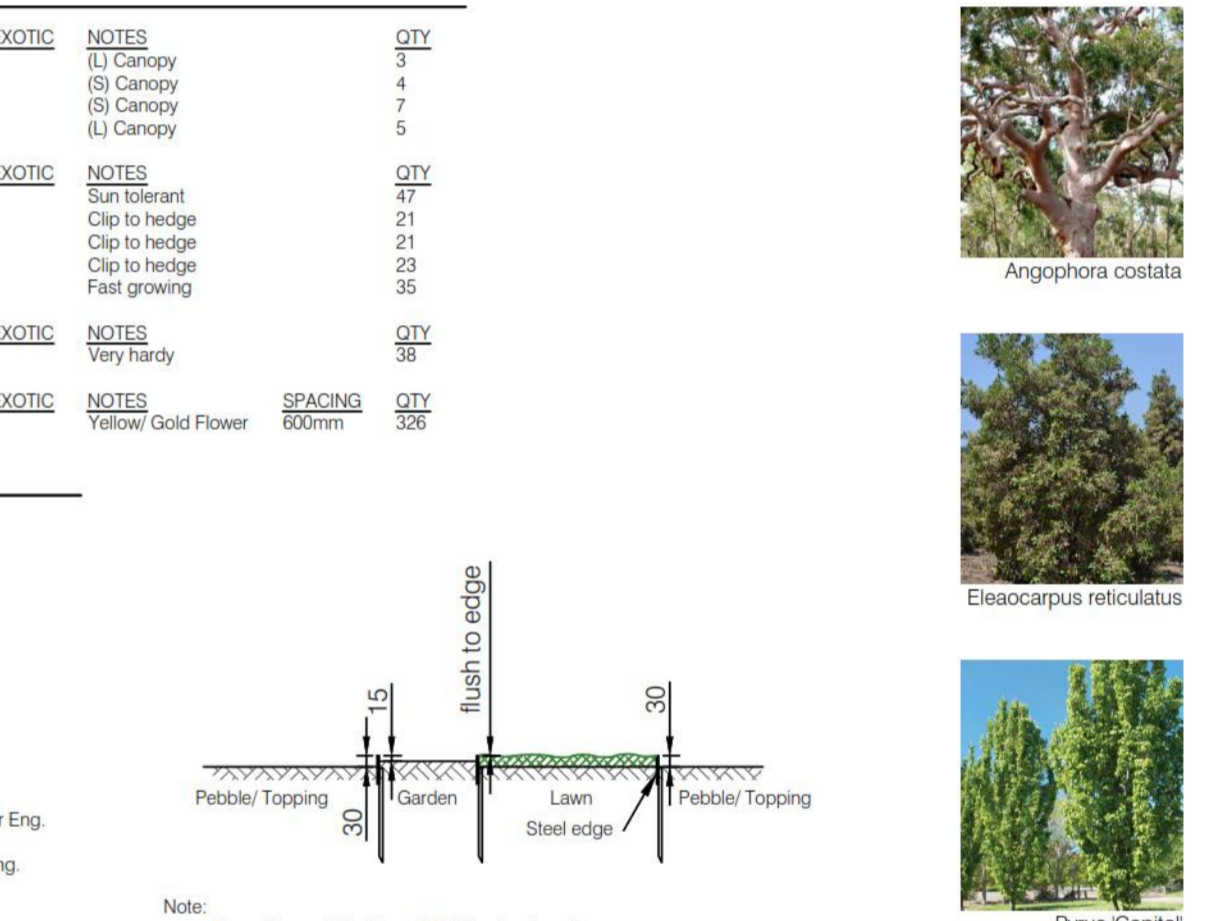
SAFETY IN DESIGN (SID) Moorilla Studio has not identified any parts of this design as posing a high/unusual risk to health and safety, outside of its intended use and/or typical method of construction or maintenance. Relevant Australian Standards and NCC apply. Moorilla Studio may specify plants that are harmful if ingested. Client is advised to consult plant supplier or Horticulturist regarding any concern with plant toxicity/allergies.

PLANT SCHEDULE B 1

TREES	BOTANICAL NAME	COMMON NAME	SIZE AT P	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
ANG COS	Angophora costata	Apple	2m (40m)	30x2m	N	(I) Canopy	3	
ELA RES	Elaeocarpus reticulatus	Blueberry Ash	2m+ (40m)	9x4m	N	(S) Canopy	4	
PRU CAP	Pyrus calleryana 'Capital'	Capital Callery Pear	2m+ (40m)	12x3m	E	(S) Canopy	7	
WAT GRA	Waterhousea floribunda 'Green Avenue'	Weeping Lily Bell	2m (40m)	15x3m	N	(I) Canopy	5	
SHRUBS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
ACA LIM	Acacia cognata 'Limeight'	River Wattle	200mm	0.7x1m	N	Sun tolerant	47	
CAL WHA	Callistemon citrinus 'White Anzac'	White Anzac Lemon Bottlebrush	200mm	1x3m	N	Clip to hedge	21	
DOD VIS	Dodonaea viscosa 'Green'	Green Hopseed Bush	200mm	2.5x1.5m	N	Clip to hedge	21	
PRU LUS	Prunus laetiflora	Portuguese Laurel	300mm	3x3m	E	Clip to hedge	23	
WES NAR	Westringia fruticosa 'Naringa'	Coast Rosemary	200mm	1.2x1m	N	Fast growing	35	
STRAPPY GRASS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	QTY	
LOM LON	Lomandra longifolia	Spiry-headed Mat Rush	140mm	1.2x1.2m	N (ND)	Very hardy	38	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE H/W	NATIVE/EXOTIC	NOTES	SPACING	QTY
HIB SCA	Hibbertia scardens	Guinea Gold Vine	200mm	0.5x3m	N	Yellow Gold Flower	800mm	336

REFERENCE NOTES SCHEDULE B 1

SYMBOL	DESCRIPTION	QTY	Specification	Installation	
ES101	Edging (Steel/Timber)	7.1 m	75x6mm mild steel/75x12mm hardwood		
ES102	Granular Surfaces	QTY	Specification		
ES103	Pebble Path (permeable)	9.2 m²	10-20mm screenings, cream-white tone		
PA104	Pavement	Concrete Drive	3.378 m²	Pigment oxide in natural tone	25/32MPa with steel reinforcement. Refer Eng.
PA105	Concrete Path	821.2 m²	Pigment oxide in natural tone	25MPa with steel reinforcement. Refer Eng.	



Concrete type and finish as specified. Adhere to AS/NZS 3601.1, AS 4226, AS/NZS 4586 and AS/NZS 4663. Construction methods to adhere to all local authority regulations and specs.

Formed joints at abutment of paving to all structures, and transition of pavement types. Final details, levels, grades and SW systems to be approved by Civil Engineer.

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BASEMENT 1:400 @ A1

Confirm all levels and dimension on site prior to commencement. See attached specifications for material and construction information. Comply with all relevant AU Standards, SCA/NCC, EPA, Utility and Local Planning regulations. Workplace Health and Safety guidelines to be strictly adhered to. All structures, retaining walls and footings to Engineer's specifications (to be obtained prior to commencement).



THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE SUSTAINABLE DESIGN ASSESSMENT, ARBORISTS REPORT, CIVIL AND ARCHITECTURAL PLANS



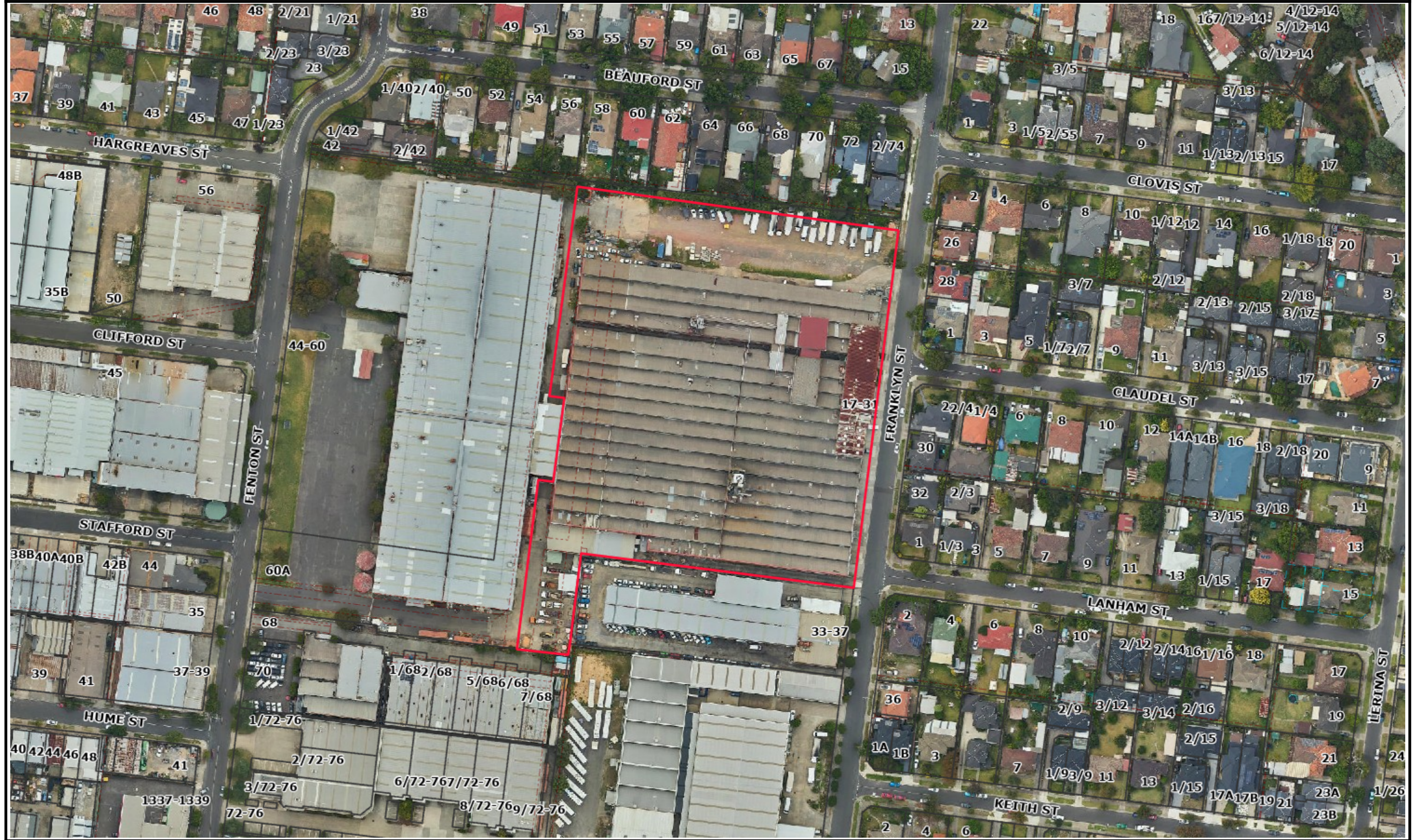
Australian Institute of Landscape Architects

Moorilla Studio Landscape Architecture
 www.MoorillaStudio.com.au
 Designer: E. Hunt, M.L.A. AILA A&P 763 210 9967

client: SPECTRE PROPERTY
 17/31 Franklin St, Huntingdale VIC
 (proposed industrial development)

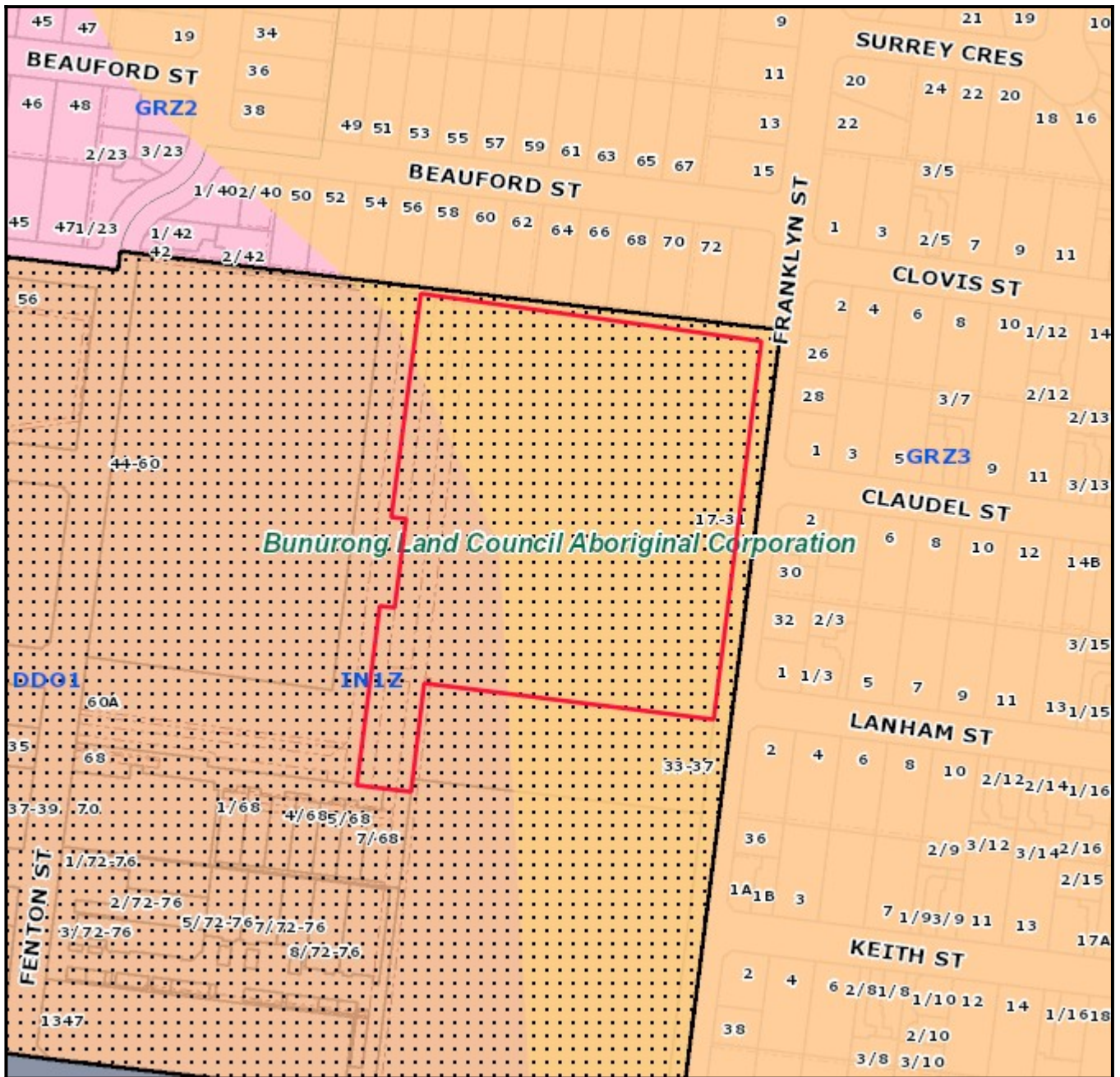
title: BASEMENT
 status: Planning Issue
 project #: 220707
 sheet 2 of 2 rev. D

Attachment 2: 17-31 Franklyn Street, Huntingdale





Planning Overlays and Zones



Legend

Planning Zones

Planning Overlays

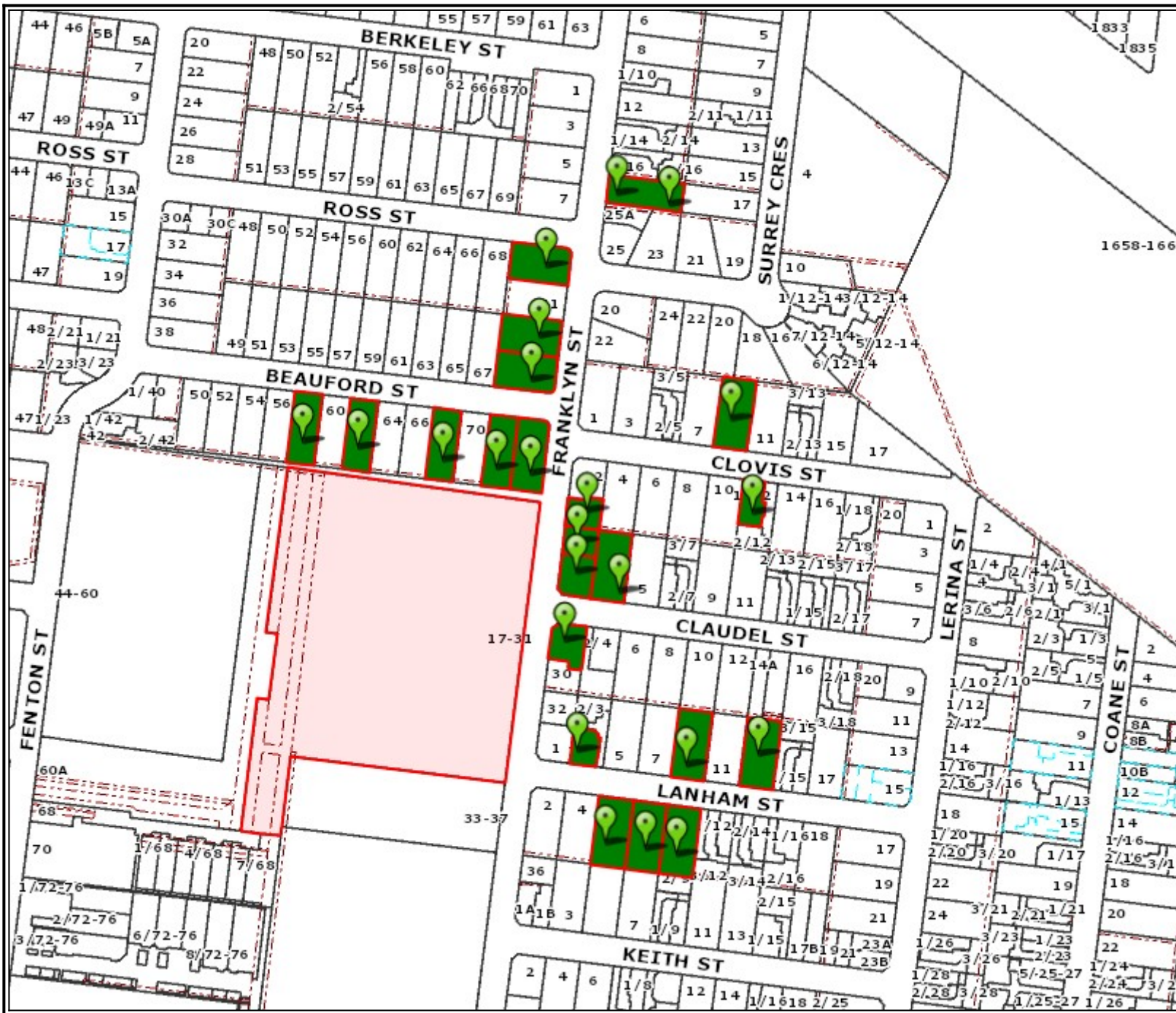
1:2500

Address: 17-31 Franklyn Street HUNTINGDALE VIC 3166

Area: 0.00000 sqm

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The City of Monash endeavours to keep the information current, and welcomes notification of omissions or inaccuracies.



Objector Map

Subject land shaded light red.
Objector properties shaded dark green and pinpointed.

Legend

- Property
- Proposed Property
- Common Property
- Easements
- Railines
- Reserves
- Open Space Public Access**
- Accessway/ trail
- Conservation
- Memorial Park
- Play
- Relaxation/ contemplation
- Social/ family recreation
- Sport
- Utility/ buffer/ enviro constraint
- Visual amenity
- Water based recreation

1:3000



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MONASH



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